

301 Brooklea Drive
Fayetteville, NY 13066
Phone 315-637-3414
Fax 315-637-0713



Chairperson:
David Shomar

Members:
Valerie Beecher
Richard Rossetti
Judy Salamone
Erin Reynolds
Don Western
Kristen Zarella

Alternate Members:
Eric Neubauer

**Agenda
Planning Board
April 27, 2026
6:30 PM**

**Use the Manlius Planning Board's recurring Zoom Link!
The same link will be used for all meetings.**

**Join from PC, Mac, iPad, or Android:
<https://us02web.zoom.us/j/87987327153>**

Pledge Of Allegiance

Director of Planning and Development - Updates

Appointment of New Planning Board Clerk

Approval Of Minutes

1. April 13, 2026 - Minutes

Public Hearing

1. Barbara Sturick - 5839 Bowman Road, East Syracuse, NY 13057 - Public Hearing for 2-Lot Subdivision - Vacant Lot - Zoning Classification - Restricted Agricultural (RA) - Tax Map # 073.-03-03.1

Current Projects

1. Ironhorn Enterprises - 5912 North Burdick Street, E. Syracuse, NY 13057 - **Discussion** - Site Plan Amendment - Same Address - Zoning Classification - Commercial B (CB) - Tax Map #'s 077.3-01-01.1 & 077.-03-24.4

2. Jason Huyck - 106 Charing Road, Syracuse, NY 13214 - **Discussion and Recommendation to Zoning Board of Appeals (for Sign Variance)** - Site Plan Amendment - 7206 E. Genesee Street, Fayetteville, NY 13066 - Dear Dad (old Arad Evans) - Zoning Classification - Commercial A (CA) - Tax Map # 092.-06-04.1

Other Business

Adjournment

Expected
Fee: \$ 3,050

TOWN OF MANLIUS
PLANNING DEPARTMENT
INITIAL APPEARANCE APPLICATION

DATE: 03/26/2026

Name of Project: Ironhorn Enterprises

Applicant must submit 10 copies of all site plans, surveys, and supporting data with the final application before a planning board meeting can be scheduled.

Location of Project: 5912 N. Burdick Street, East Syracuse, NY 13057

Type of Project:

Division of Land Subdivision Accessory Use Zone Change Site Review Other

Developer: Ironhorn Enterprises Phone: 315-299-9329

Address: 5912 N. Burdick Street, East Syracuse, NY Zip: 13057

Tax Map Number(#)/s: 077.3-01-01.1 & 077.-3-24.4

Present Zoning: Commercial B (CB) Desired Zoning: n/a

Total Acreage: 6.25 Total Number of Lots: n/a

Property Owner/s: 5912 N. Burdick Street, LLC Phone: 315-299-9329

Address: 5912 N. Burdick Street, East Syracuse, NY Zip: 13057

Tax Map#(s): 077.3-01-01.1 & 077.-3-24.4 Owner's Signature: *[Signature]*

Printed Name: Gregory Cleghorn

Property Owner/s: Gregory Cleghorn Phone: 315-3805429

Address: 5912 N. Burdick St E. Syracuse, NY Zip: 13057

Tax Map#(s): Owner's Signature: *[Signature]*

Printed Name: Gregory Cleghorn

Use next page for additional known property owners' information

Planning Board Meeting Date Assignment:

Fee: Paid: Per: Credit/Debit Card Check Cash

Planning Board - Initial

Reset Form

Print Form

TOWN OF MANLIUS

DISCLOSURE AFFIDAVIT

This affidavit is a part of and must be completed and attached to every application, petition, request submitted for a site plan, variance, amendment, change of zoning, approval of a plat, exemption from a plat or official map, license or permit.

STATE OF NEW YORK)
) SS:
COUNTY OF ONONDAGA)

I. Gregory A. Cleghorn, being duly sworn, deposes and says that (s) he is:

Authorized Member of 5912 North Burdick Street, LLC
(applicant, petitioner, corporation officer, property owner, etc.)

II. That deponent has read and is familiar with the provisions of the General Municipal Law, Section 809 which states:

- A. Every application, petition or request submitted for a site plan, variance, amendment, change of zoning, approval of a plat, exemption from a plat or official map, license or permit, pursuant to the provisions or any ordinance, local law, rule or regulation constituting the zoning and planning regulations of a municipality shall state the name, residence and the nature and extent of the interest of any state officer or any officer or employee of such municipality is a part, in the person, partnership or association making such application, petition or request (hereinafter called the applicant) to the extent known to such applicant.
B. For the purpose of this action an officer or employee shall be deemed to have an interest in the applicant when (s)he, his/her spouse, or their brothers, sisters, parents, children, grandchildren, or the spouse of any of them:
1) is the applicant, or
2) is an officer, director, partner or employee of the applicant, or
3) legally or beneficially owns or controls stock of a corporate applicant or is a member of a partnership or association applicant, or
4) is a party to an agreement with such an applicant, express or implied, whereby (s) he may receive any payment or other benefit, whether or not for services rendered, or contingent upon the favorable approval of such application, petition or request.
C. Ownership of less than five percent (5%) of the stock of a corporation whose stock is listed on the New York or American Stock Exchanges shall not constitute an interest for the purposes of this section.
D. A person who knowingly and intentionally violates this section shall be guilty of a misdemeanor.

III. That no Town of Manlius officer, employee or a relative of either, as defined in Section 809 General Municipal Law has any interest in this application.

-OR-

If a Town of Manlius officer, employee or relative of either as defined in Section 809 General Municipal law has any interest in this application, the full particulars are provided on an attached sheet.

Date: March 27, 2020.

Date: _____, 20_____.

Gregory A. Cleghorn
(Print Name)

(Print Name)

[Signature]
(Signature)

(Signature)

(Entity Name)

(Entity Name)

By (Officer) (Title)

By (Officer) (Title)

(Mailing Address of Applicant)

(Mailing Address of Applicant)

(Telephone Number)

(Telephone Number)

ACKNOWLEDGEMENTS

STATE OF NEW YORK)
) SS:
COUNTY OF ONONDAGA)

On this 27 day of March in the year 2020, before me, the undersigned, a notary public in and for said state, personally appeared Gregory A. Cleghorn, and _____ personally known to

me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within Petition and acknowledged to me the he/she/they executed the same in his/her/their capacity, and that by his/her/their signature(s) on the Petition, the individual or the persons upon behalf of which the individual acted executed the instrument.

Victoria E. Ramirez
Notary Public

VICTORIA E. RAMIREZ
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 02RA0046169
Qualified in Onondaga County
Commission Expires January 28, 2030

Short Environmental Assessment Form

Part 1 - Project Information

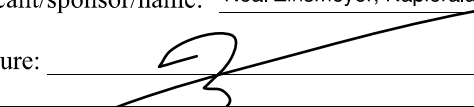
Instructions for Completing

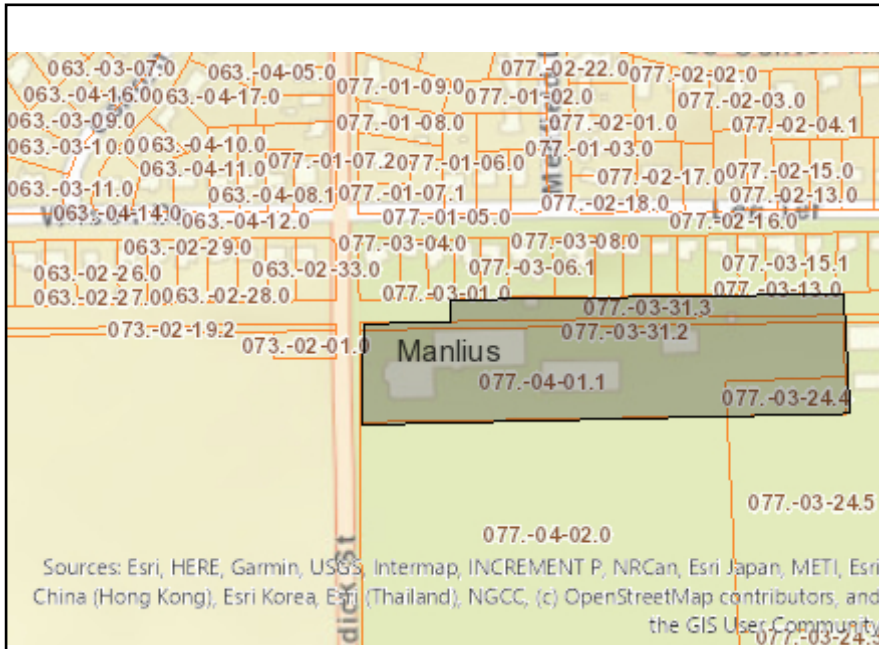
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Ironhorn Enterprises			
Project Location (describe, and attach a location map): 5912 N. Burdick Street East Syracuse, NY 13057			
Brief Description of Proposed Action: Existing building facade improvements			
Name of Applicant or Sponsor: Napierala Consulting		Telephone: 315-682-5580	
		E-Mail: nzinsmeyer@napcon.com	
Address: 110 Fayette Street			
City/PO: Manlius		State: NY	Zip Code: 13104
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 6.25 acres			
b. Total acreage to be physically disturbed? _____ 0 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 6.25 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/>	+
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Northern Long-eared Bat, In...	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Neal Zinsmeyer, Napierala Consulting (engineer for owner)</u> Date: <u>03/25/2026</u>		
Signature:  _____ Title: <u>Project Manager</u>		



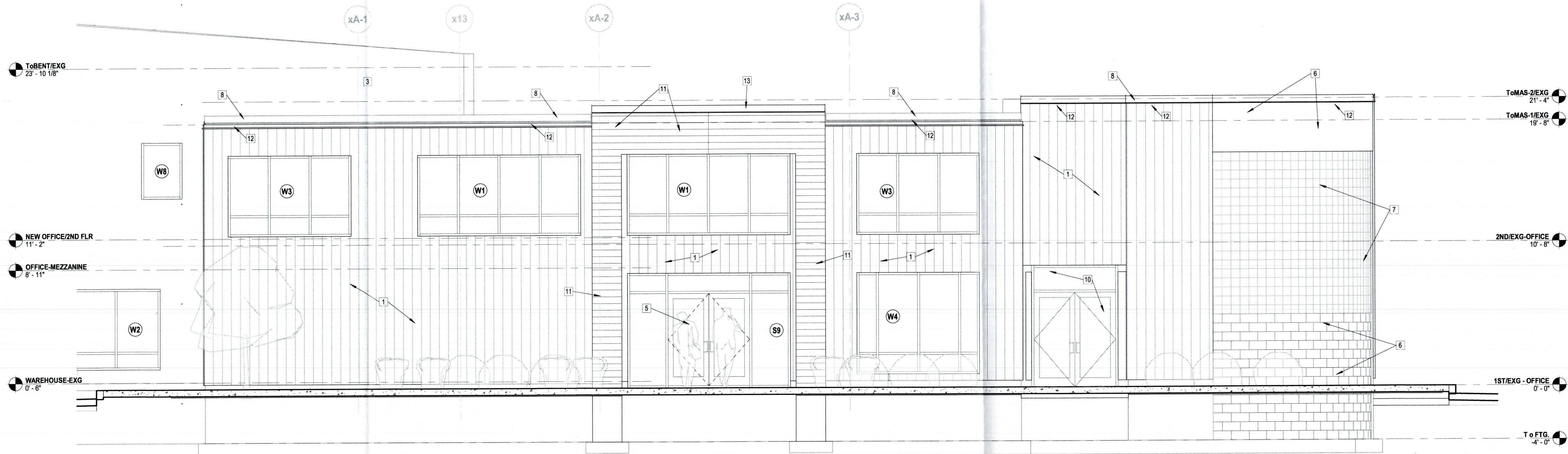
Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources to confirm data provided by the Mapper or to obtain data not provided by the Mapper.



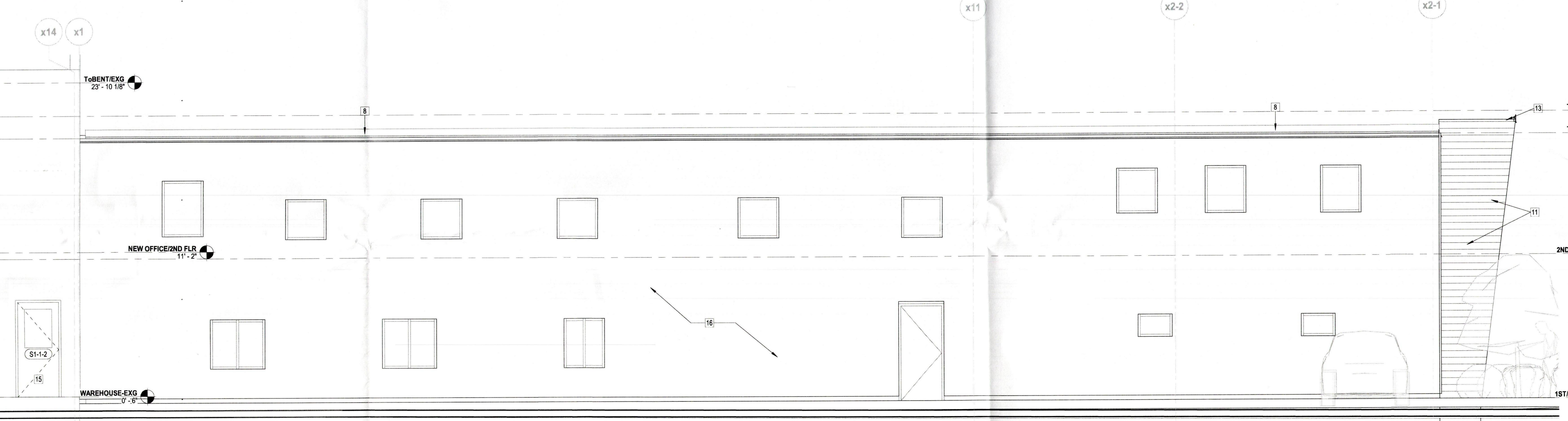
Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat, Indiana Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



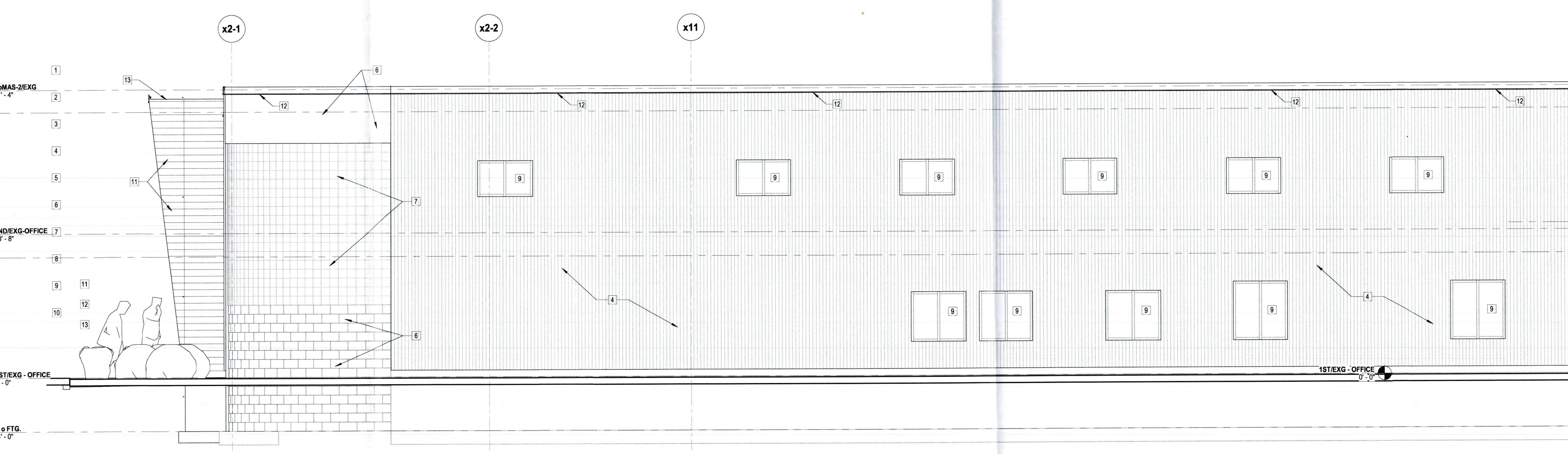
- ELEVATION SHEET NOTES**
- 1 NEW METAL SIDING EQUAL TO EDCO PERSPECTIVES STEEL SHIPLAP SIDING - IRON GRAY
 - 2 NEW FIXED ALUMINUM WINDOW EQUAL TO KAWNEER TRIFAB 451UT WITH 1" INSULATED GLASS, COLOR = BLACK
 - 3 EXISTING METAL SIDING TO BE PAINTED TO MATCH NEW SIDING (MATCH IRON GRAY SHIPLAP BY EDCO)
 - 4 NEW 7/8" CORRUGATED METAL SIDING EQUAL TO BESTBUY METALS, 24 GA PANELS, COLOR = METALLIC SILVER
 - 5 NEW EXTERIOR DOOR AND FRAME EQUAL TO KAWNEER 350 MEDIUM STYLE ENTRANCE DOORS, COLOR BLACK - SEE FLOOR PLAN AND DOOR SCHEDULE
 - 6 NEW EIFS OVER EXISTING SUBSTRATE (MASONRY WALL) - DRYVIT MD OUTSULATION PLUS SYSTEM (COLOR MATCH TO IRON GRAY SHIPLAP BY EDCO)
 - 7 EXISTING GLASS BLOCK PANEL - NO WORK
 - 8 EXISTING ROOF EDGE/FASCIA - NO WORK
 - 9 EXISTING EXTERIOR WINDOW TO REMAIN - INSTALL NEW FLASHING AND CLOSURE TRIM IN NEW METAL SIDING OPENINGS
 - 10 EXISTING EXTERIOR DOORS AND FRAME - NO WORK
 - 11 NEW WOOD CLADDING EQUAL TO WOODPLANK, THERMO-SET MODERN EXTERIOR WOOD CLADDING, 1X6 COLOR = LIGHT POPLAR
 - 12 NEW METAL WALL CAP FLASHING AND COUNTER-FLASHING INTO EXISTING ROOF EDGE/FASCIA TRIM - SEE DETAILS
 - 13 NEW ROOF EDGE/FASCIA FLASHING - COLOR TO MATCH SIDING PANELS
 - 14 NEW EXTERIOR WINDOW IN EXISTING WALL - INSTALL NEW FLASHING AND CLOSURE TRIM IN NEW METAL SIDING OPENINGS
 - 15 NEW EXTERIOR DOOR(S) IN EXISTING WALL - INSTALL NEW FLASHING AND CLOSURE TRIM IN NEW METAL SIDING OPENINGS
 - 16 EXISTING MASONRY/CMU WALL SURFACE TO BE PAINTED EQUAL TO SHERWIN WILLIAMS COMPLEX XL, COLOR MATCH TO IRON GRAY SHIPLAP BY EDCO. EXISTING WALL EXTERIOR MASONRY WALL SURFACES TO BE CLEANED AND PREPARED PER PAINT MANUFACTURER RECOMMENDATIONS FOR SURFACE PREPARATION



1 WEST FACADE ELEVATION - OFFICE
SCALE: 1/4" = 1'-0"



2 NORTH FACADE ELEVATION - OFFICE
SCALE: 1/4" = 1'-0"



3 SOUTH ELV - NEW OFFICE
SCALE: 1/4" = 1'-0"

PROJECT: **PHASE AND OFFICE RENOVATIONS**
IRONHORN ENTERPRISES
5912 NORTH BURDICK STREET

ARCHITECT: **JMA DM ARCHITECTURAL DPC**
225 WILKINSON STREET - SUITE 104 SYRACUSE, NY 13204 - JMA@JMA.DPC.COM
JMA ARCHITECTURE FOR BUREAU OF ARCHITECTURE AND PLANNING (BAP) HAS PREPARED THESE DRAWINGS FOR THE PROJECT DESCRIBED HEREIN. THE CLIENT HAS REVIEWED AND APPROVED THESE DRAWINGS FOR THE PROJECT DESCRIBED HEREIN. THE CLIENT HAS REVIEWED AND APPROVED THESE DRAWINGS FOR THE PROJECT DESCRIBED HEREIN.

PROJECT NORTH

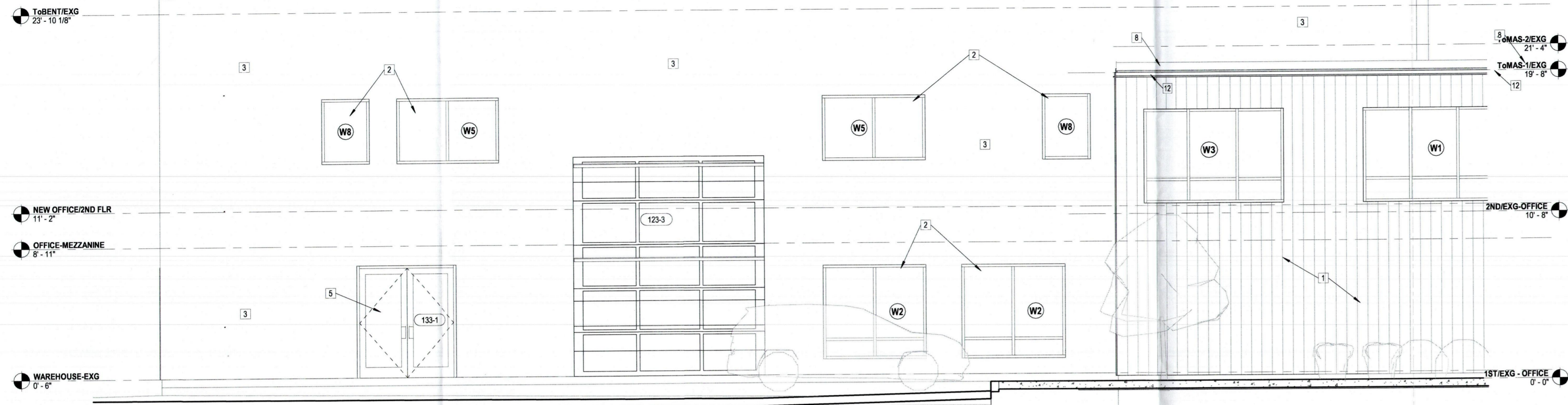
REVISIONS

No	Date

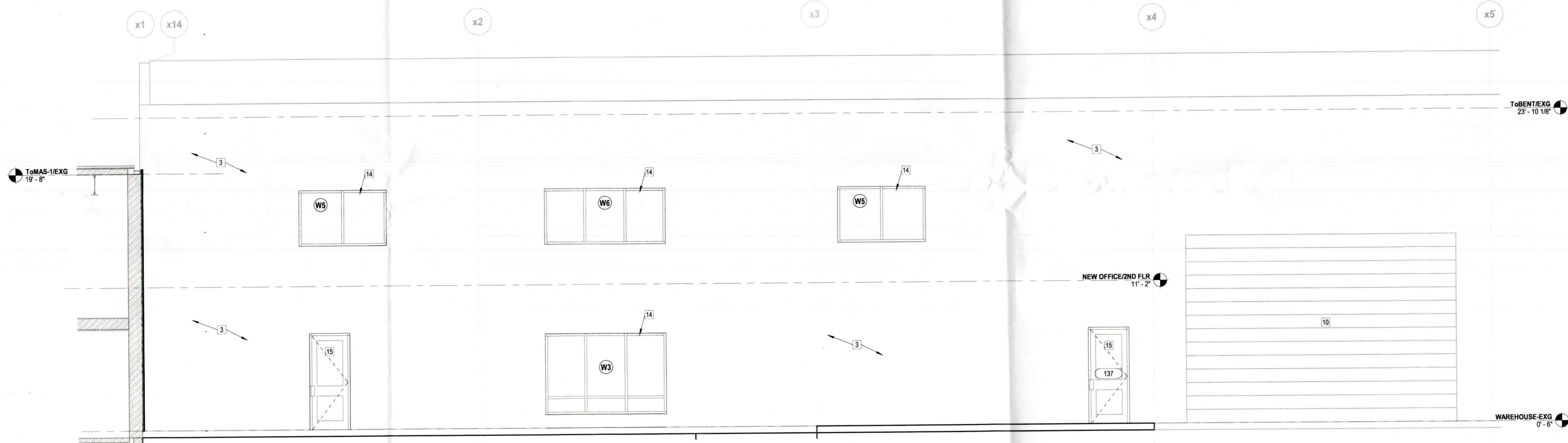
DATE	01/22/2025	SCALE	1/4" = 1'-0"
DRAWN BY	JRM	JOB No.	25221

DRAWING DESCRIPTION
BUILDING ELEVATIONS

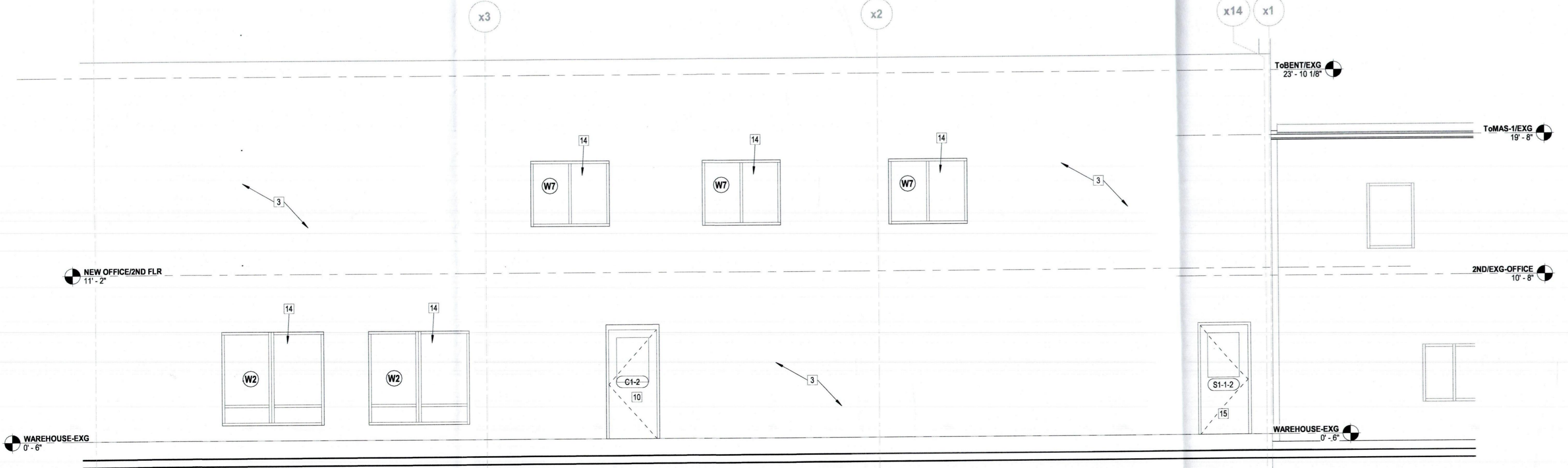
SHEET NUMBER
A2-1



2 WEST FAÇADE ELEVATION - PART B
SCALE: 1/4" = 1'-0"



1 SOUTH FAÇADE ELEVATION - PART B
SCALE: 1/4" = 1'-0"



3 NORTH FAÇADE ELEVATION - PART B
SCALE: 1/4" = 1'-0"

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PROJECT: **FAÇADE AND OFFICE RENOVATIONS**
IRONHORN ENTERPRISES
5912 NORTH BURDICK STREET

ARCHITECT: **JMA DM ARCHITECTURAL DPC**
225 WILKINSON STREET - SUITE 104 SYRACUSE, NY 13204 - DMARCH-PRO
LICENSED ARCHITECTS AND ENGINEERS STATE OF NEW YORK. WE HEREBY CERTIFY THAT WE HAVE PREPARED THIS DOCUMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL ENGINEERING AND ARCHITECTURE LAW OF THE STATE OF NEW YORK AND THE RULES AND REGULATIONS OF THE BOARD OF ARCHITECTURE AND ENGINEERING PROFESSIONALS OF THE STATE OF NEW YORK.

PROJECT NORTH

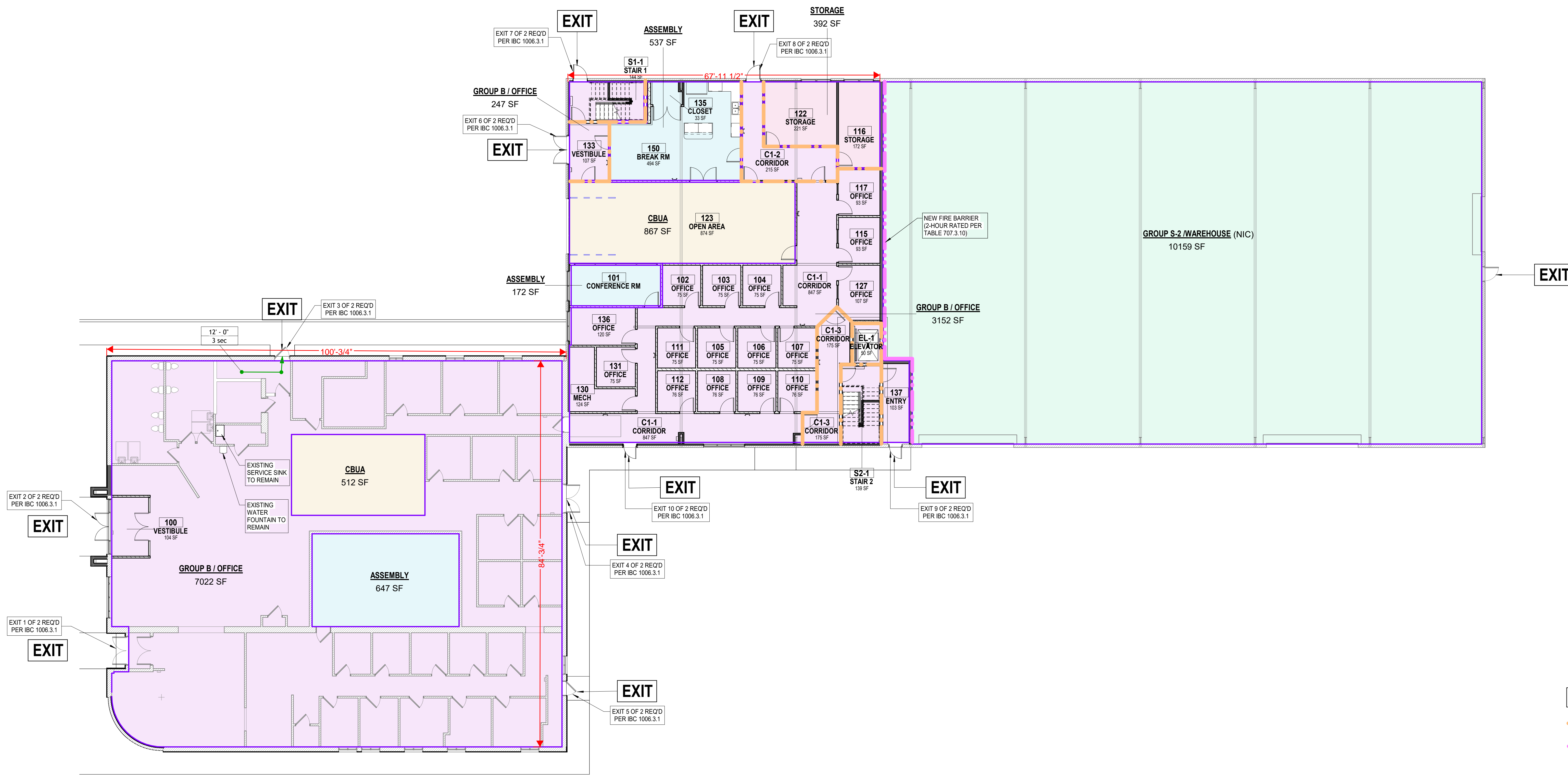
REVISIONS

No	Date

DATE	01/22/2026	SCALE	1/4" = 1'-0"
DRAWN BY	JRM	JOB No	25221

DRAWING DESCRIPTION
BUILDING ELEVATIONS

SHEET NUMBER
A2-2



1 CODE ANALYSIS - FIRST FLOOR
SCALE: 3/32" = 1'-0"

CODE ANALYSIS LEGEND

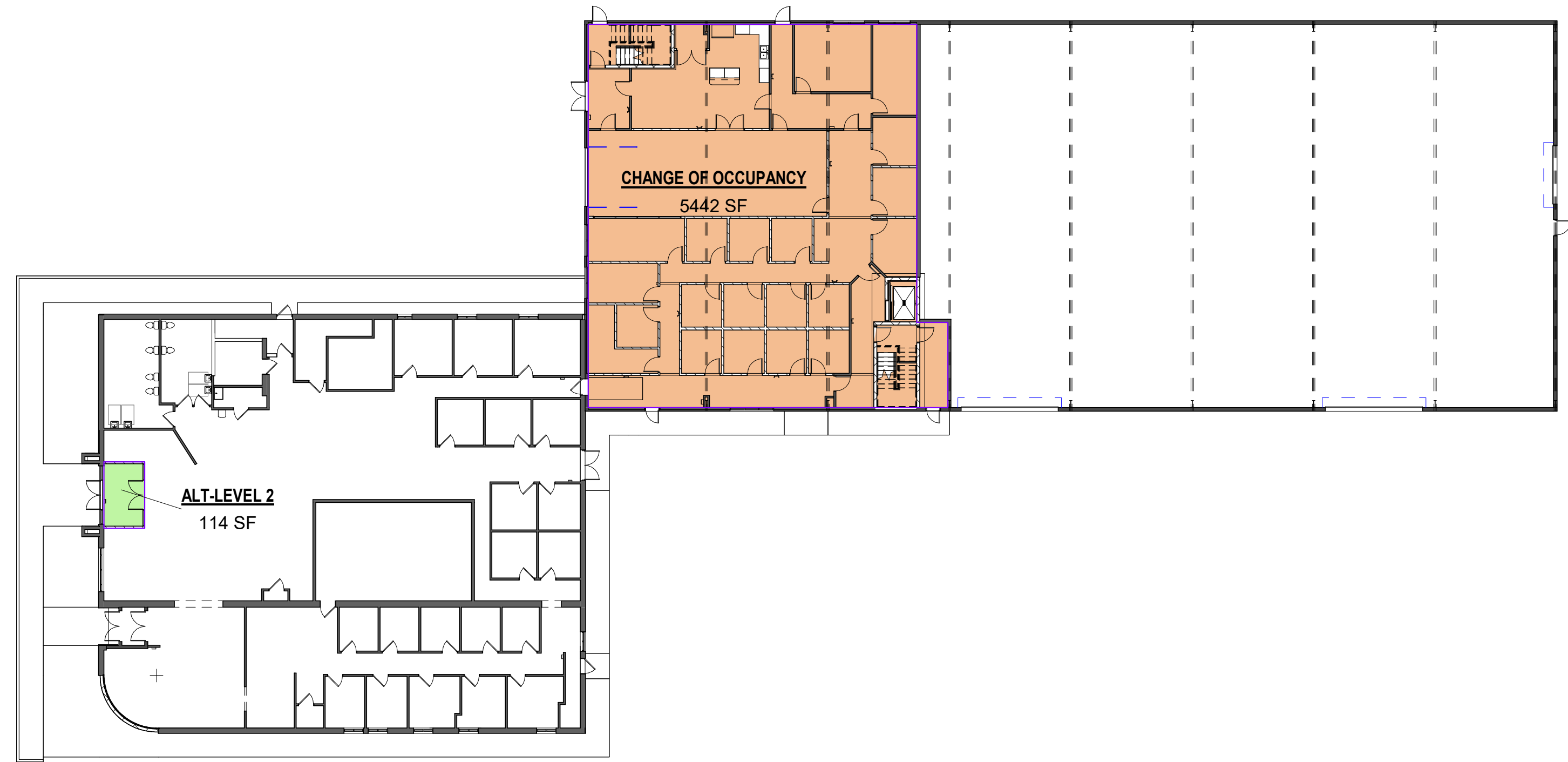
— 1-HOUR RATED CONSTRUCTION

— 2-HOUR RATED CONSTRUCTION

EXIT EXIT LOCATION

SECTION COMMENT CODE SECTION CALL OUT ANNOTATION

CODE ANALYSIS LEGEND
SCALE: 1/8" = 1'-0"



2 1ST FLOOR - WORK AREA PLAN
SCALE: 3/64" = 1'-0"

GENERAL CODE SUMMARY

APPLICABLE CODES:
(BCNY) BUILDING CODE OF NEW YORK STATE, 2025 ED.
(EBCNY) EXISTING BUILDING CODE OF NEW YORK STATE, 2025 ED.
(PMCNYS) PROPERTY MAINTENANCE CODE OF NEW YORK STATE, 2025 ED.

EXISTING BUILDING SUMMARY:
AN EXISTING 2-STORY TYPE III-B (AREA 'A') AND TYPE V-B (AREA 'B') CONSTRUCTION EXISTING OVERALL FLOOR AREA OF 24,221 SF
WORK AREA OF PARTIAL CHANGE OF OCCUPANCY HAS AN AREA OF 9,781 SF
(7) EXISTING EXITS FROM WORK AREA
NO SPRINKLER SYSTEM IS PRESENT THROUGHOUT THE BUILDING

NEW WORK SUMMARY:
PARTIAL CHANGE OF OCCUPANCY - PREVIOUS OCCUPANCY: S-2 (HIGHER HAZARD)
PROPOSED NEW OCCUPANCY GROUP - B BUSINESS (LOWER HAZARD)
TYPE OF CONSTRUCTION IN AREA OF WORK: 2-STORY, TYPE S-B (AREA 'A') AND TYPE S-B (AREA 'B')
(3) GRADE LEVEL EXITS - SEE CODE ANALYSIS PLAN FOR CONFIGURATION
NO AUTOMATIC SPRINKLER SYSTEM PROVIDED, NONE REQUIRED
FIRE ALARM NOT REQUIRED PER SECTION 907 FOR GROUP B OR S-2

INTERNATIONAL EXISTING BUILDING CODE:
CHAPTER 5 - CLASSIFICATION OF WORK
PARTIAL CHANGE OF OCCUPANCY FROM GROUP S-2 TO GROUP B (HIGHER HAZARD TO LOWER HAZARD)

INTERNATIONAL BUILDING CODE:
CHAPTER 5 - BUILDING HEIGHTS AND AREAS
SECTION 508.4 REQUIRED SEPARATION OF OCCUPANCIES - PART 'B'
GROUP B TYPE VB NS
GROUP S-2 TYPE VB NS
B: ALLOWABLE AREA = 9,000 SF -- PROPOSED = 7,335 SF
HEIGHT AND STORIES ALLOWED = 40' OR 2-STORIES -- PROPOSED = 21' / 1-STORY
S-2: ALLOWABLE AREA = 13,500 SF -- PROPOSED 10,159 SF
HEIGHT AND STORIES ALLOWED = 40' OR 2-STORIES -- PROPOSED = 21' / 1-STORY
2 HOUR SEPARATION IS REQUIRED BETWEEN B & S-2 OCCUPANCIES PER 508.4

3 CODE ANALYSIS
SCALE: 1/8" = 1'-0"

CHAPTER 9 - FIRE PROTECTION SYSTEMS

SECTION 903 - AUTOMATIC SPRINKLER SYSTEMS:
EXISTING BUILDING AREAS ARE NOT SPRINKLERED (NS)

GROUP B: SPRINKLERS NOT REQUIRED PER SECTION 903
GROUP S-2: SPRINKLERS NOT REQUIRED

SECTION 907 - FIRE ALARM AND DETECTION SYSTEMS:
907.2.2 - GROUP B **MANUAL FIRE ALARM NOT THRESHOLDS NOT REACHED**

CHAPTER 10 - MEANS OF EGRESS

PART 'A'
1004 OCCUPANT LOAD FACTORS:
BUS AREA 12,667 SF / 150 GROSS = 85
BUS AREA (MEZZ) 691 SF / 150 GROSS = 5
ASSEMBLY (CONF/BREAK) 1,657 / 15 = 111
CBUA 512 SF / 50 GROSS = 11

1004.8 CONC. BUSINESS USE AREA
TOTAL GROUP B OCCUPANT LOAD = 183

1005.3.2 EGRESS WIDTH REQUIRED:
ACTUAL WIDTH PROVIDED:
GROUP B: 15.6 INCHES CALCULATED - MINIMUM 36"
EXIT #1 = 72" / EXIT #2 = 72" / EXIT #3 = 36" / EXIT #4 = 72" / EXIT #5 = 36"
TOTAL WIDTH PROVIDED = 288
75 FEET - GROUP B WITHOUT SPRINKLER SYSTEM
2 EXITS REQ'D - 5 PROVIDED AT GRADE LEVEL BY EXIT DOOR #1, #2, #3, #4, #5

1017.2 EXIT ACCESS TRAVEL DISTANCE:
GROUP B = 200' (NS)

TABLE 1020.1 CORRIDOR FIRE-RESISTANCE:
1020.2 CORRIDOR WIDTH:
GROUP B SERVING OCCUPANT LOAD MORE THAN 30 = 1-HR RATING
44" MINIMUM CORRIDOR WIDTH (OCC. LOAD > 50) - 48" PROVIDED

PART 'B'
1004 OCCUPANT LOAD FACTORS:
BUS AREA 7335 SF / 150 GROSS = 49
ASSEMBLY (CONF/BREAK) 453 / 15 = 31
CBUA 867 SF / 50 GROSS = 18
GROUP S-2 583 SF / 500 GROSS = 2

1004.8 CONC. BUSINESS USE AREA
TOTAL GROUP B OCCUPANT LOAD = 129

1005.3.2 EGRESS WIDTH REQUIRED:
ACTUAL WIDTH PROVIDED:
GROUP B: 15.6 INCHES CALCULATED - MINIMUM 36"
EXIT #6 = 72" / EXIT #7 = 36" / EXIT #8 = 36" / EXIT #9 = 36" / EXIT #10 = 36"
TOTAL WIDTH PROVIDED = 216
75 FEET - GROUP B WITHOUT SPRINKLER SYSTEM
2 EXITS REQ'D - 5 PROVIDED AT GRADE LEVEL BY EXIT DOOR #6, #7, #8, #9, #10

1017.2 EXIT ACCESS TRAVEL DISTANCE:
GROUP B = 200' (NS)

TABLE 1020.1 CORRIDOR FIRE-RESISTANCE:
1020.2 CORRIDOR WIDTH:
GROUP B SERVING OCCUPANT LOAD MORE THAN 30 = 1-HR RATING
44" MINIMUM CORRIDOR WIDTH (OCC. LOAD > 50) - 48" PROVIDED

PLUMBING FIXTURE REQUIREMENTS - GROUP B OCCUPANCY, 183 (PART 'A') + 129 (PART 'B') = 312 OCCUPANTS
TOTAL OCCUPANTS: 312 --> DIVIDE BY 2 = 156 (156 MEN AND 156 WOMEN)

TOILETS (WATER CLOSETS)
MINIMUM: 1 PER 25 OCCUPANTS FOR EACH SEX (TABLE 403.1)
CALCULATION: MEN: 156 OCCUPANTS / 25 = 6.24 -- 7 TOILETS / WOMEN: 156 OCCUPANTS / 25 = 6.24 -- 7 TOILETS
11 TOILETS + (1 URINAL) PROVIDED

LAVATORIES (SINKS) - MINIMUM: 1 PER 40 OCCUPANTS FOR EACH SEX (TABLE 403.1)
CALCULATION: MEN: 156 OCCUPANTS / 40 = 3.9 -- 4 LAVATORIES / WOMEN: 156 OCCUPANTS / 39 = 4 -- 4 LAVATORIES
9 LAVATORIES PROVIDED

DRINKING FOUNTAIN
MINIMUM: 1 PER 100 OCCUPANTS (TABLE 403.1) - 4 REQUIRED FOR 312 OCCUPANTS

SERVICE SINK
AT LEAST 1 PER FLOOR REQUIRED (TABLE 403.1)

PROJECT: FACADE AND OFFICE RENOVATIONS
IRONHORN ENTERPRISES
5912 NORTH BURDICK STREET

ARCHITECT: **MA DM ARCHITECTURAL DPC**
225 WILKINSON STREET - SUITE 104 SYRACUSE, NY 13204 - DMARCH.PRO
IT IS A CONDITION OF THE AWARD OF ANY PROFESSIONAL SERVICE CONTRACT THAT THE ARCHITECT SHALL MAINTAIN AND DEFEND THE INDEPENDENT AND SEVERABLE RIGHTS OF THE CLIENT AND THE ARCHITECT. THIS STATEMENT IS PLACED HEREIN AS REQUIRED BY LAW.

PROJECT NORTH

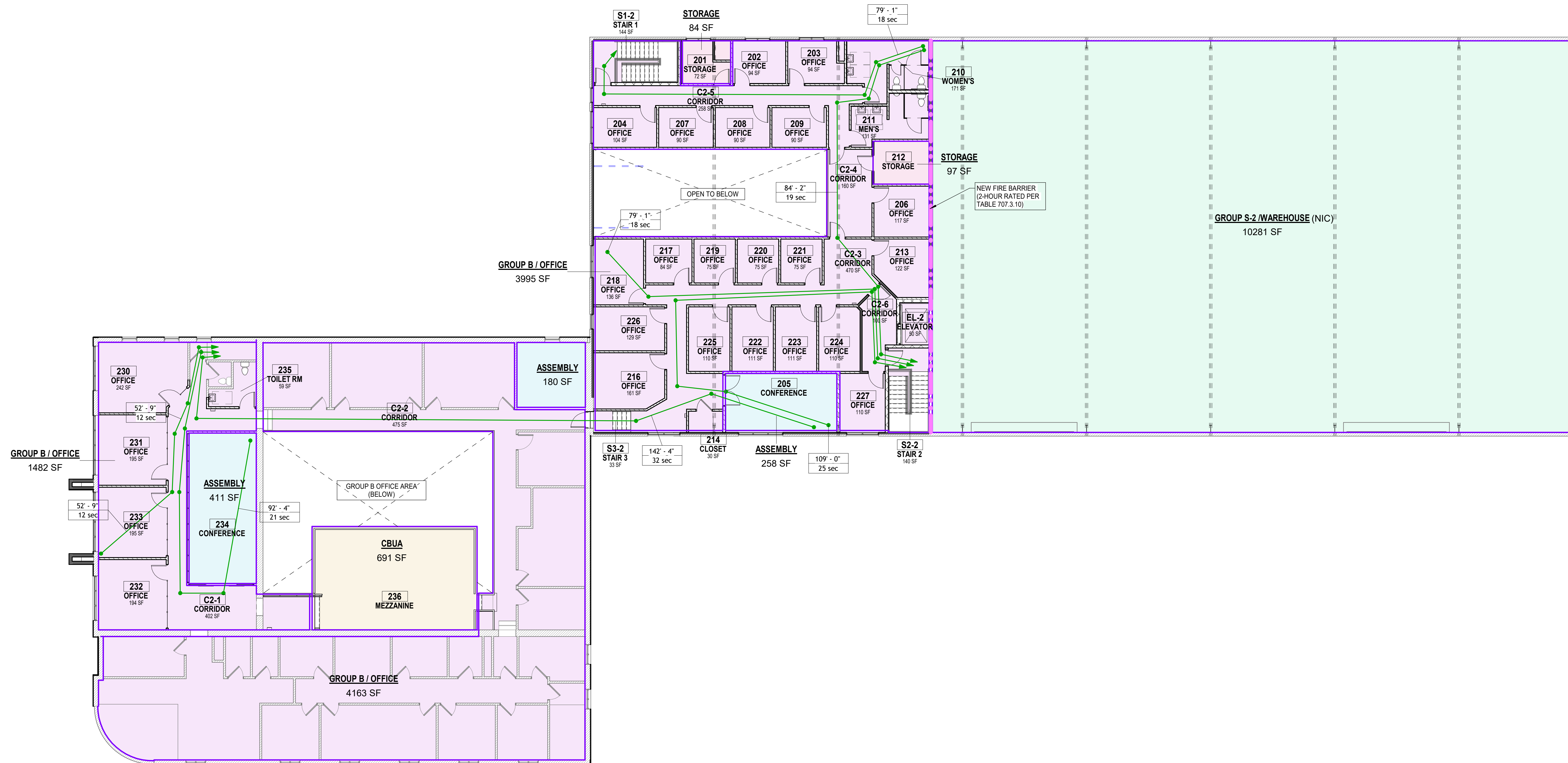
REVISIONS

No	Date

DATE: 01/22/2026 SCALE: As indicated
DRAWN BY: JRM JOB No: 25221

DRAWING DESCRIPTION
CODE ANALYSIS PLAN - 1ST FLOOR

SHEET NUMBER
G2-1



1 CODE ANALYSIS - SECOND FLOOR
SCALE: 3/32" = 1'-0"

CODE ANALYSIS LEGEND

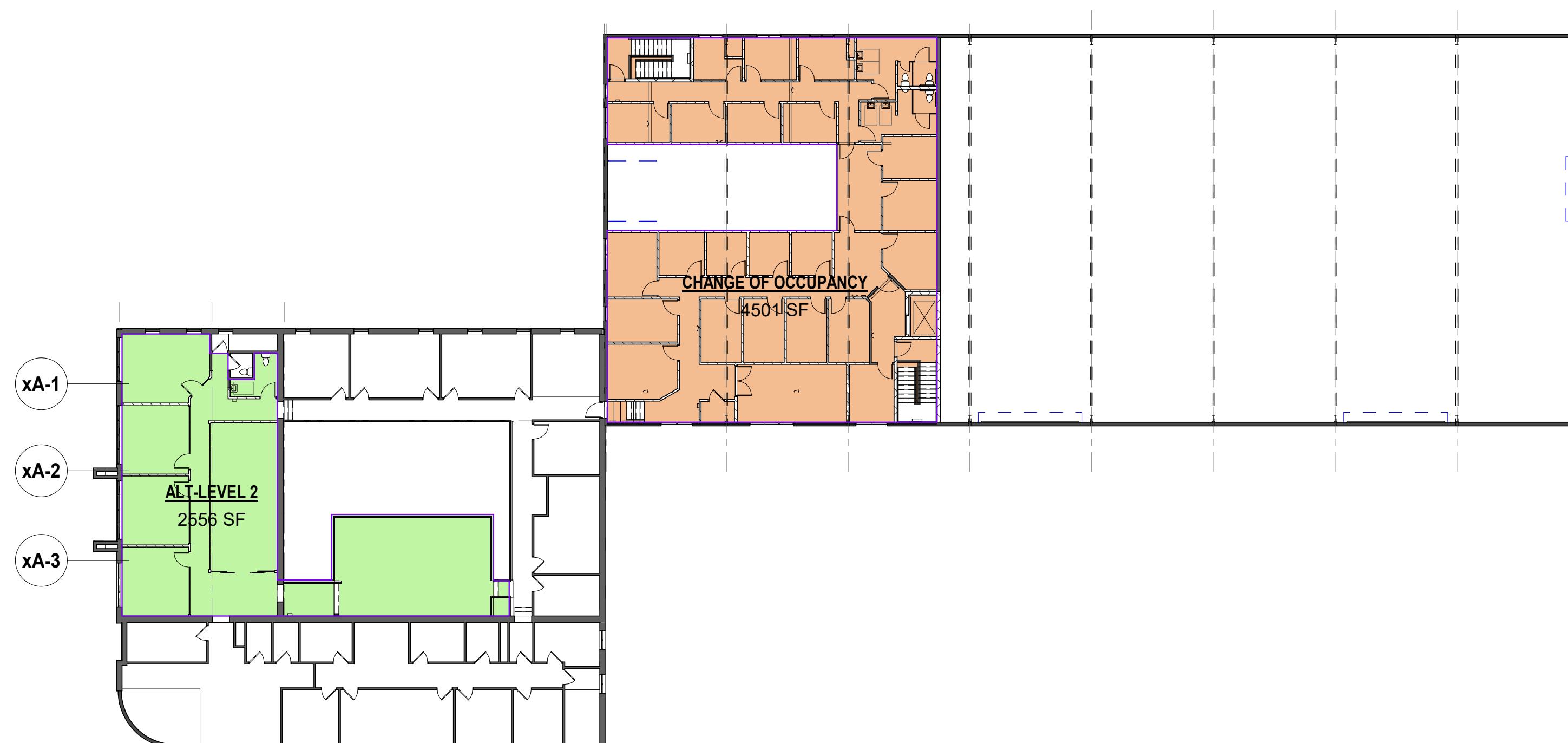
1-HOUR RATED CONSTRUCTION

2-HOUR RATED CONSTRUCTION

EXIT EXIT LOCATION

SECTION COMMENT CODE SECTION CALL OUT ANNOTATION

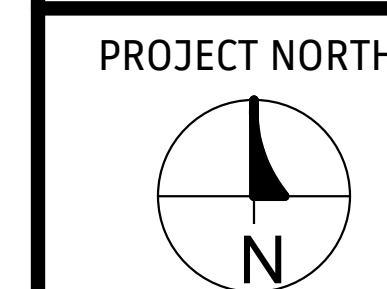
2 CODE ANALYSIS LEGEND
SCALE: 1/8" = 1'-0"



2 2ND/EXG-OFFICE
SCALE: 3/64" = 1'-0"

PROJECT: FACADE AND OFFICE RENOVATIONS
IRONHORN ENTERPRISES
5912 NORTH BURDICK STREET

ARCHITECT: **MA DM ARCHITECTURAL DPC**
225 WILKINSON STREET - SUITE 104 SYRACUSE, NY 13204 - DMARCH.PRO
IT IS SOLELY THE RESPONSIBILITY OF THE ARCHITECT TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND TO ENSURE THAT ALL APPLICABLE REGULATIONS AND ORDINANCES ARE FULLY COMPLIED WITH. THIS STATEMENT IS PLACED HEREIN AS REQUIRED BY LAW.

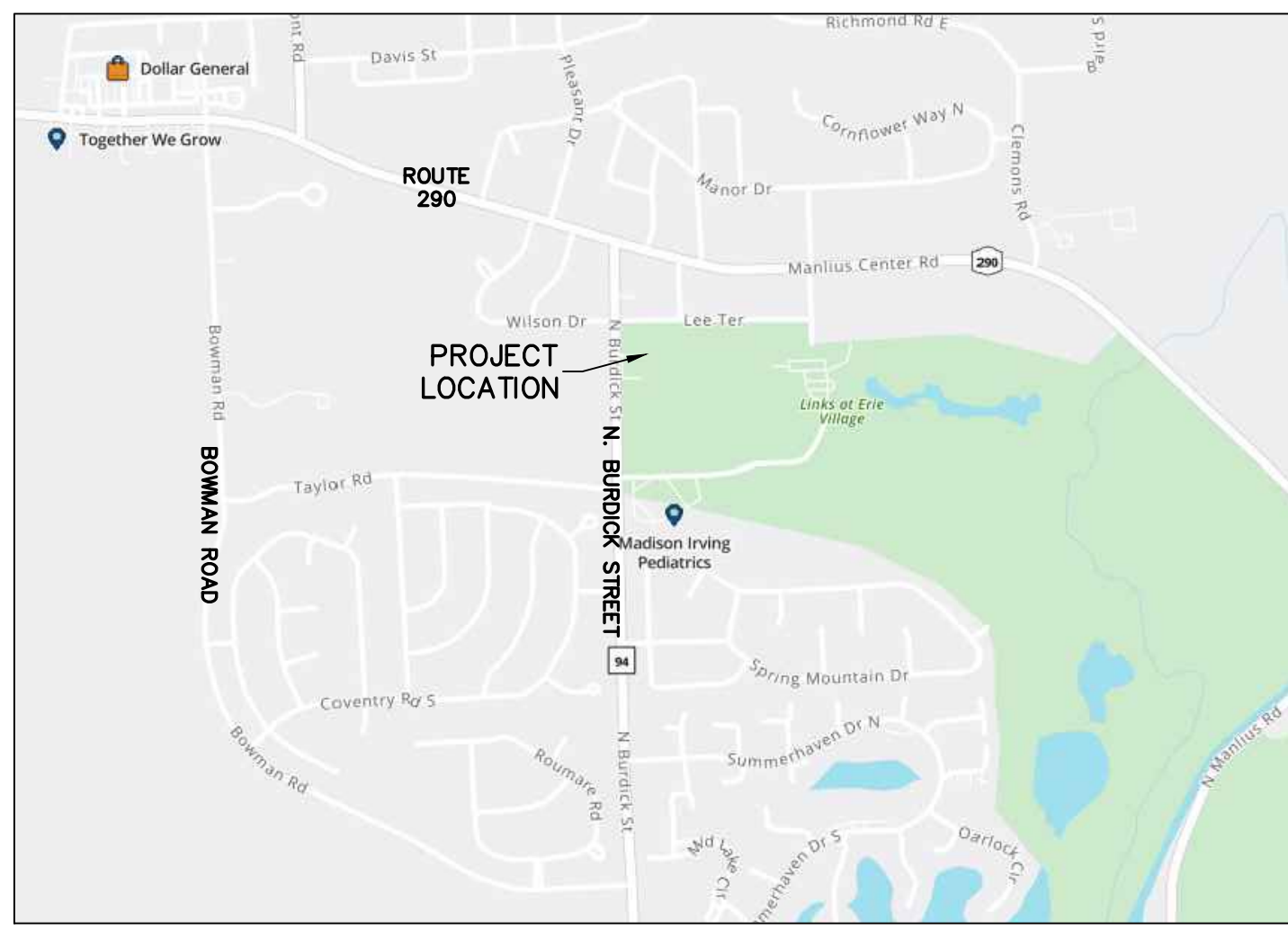


REVISIONS
No Date

DATE 01/22/2026 SCALE As indicated
DRAWN BY JRM JOB No. 25221

DRAWING DESCRIPTION
CODE ANALYSIS PLAN - 2ND FLOOR

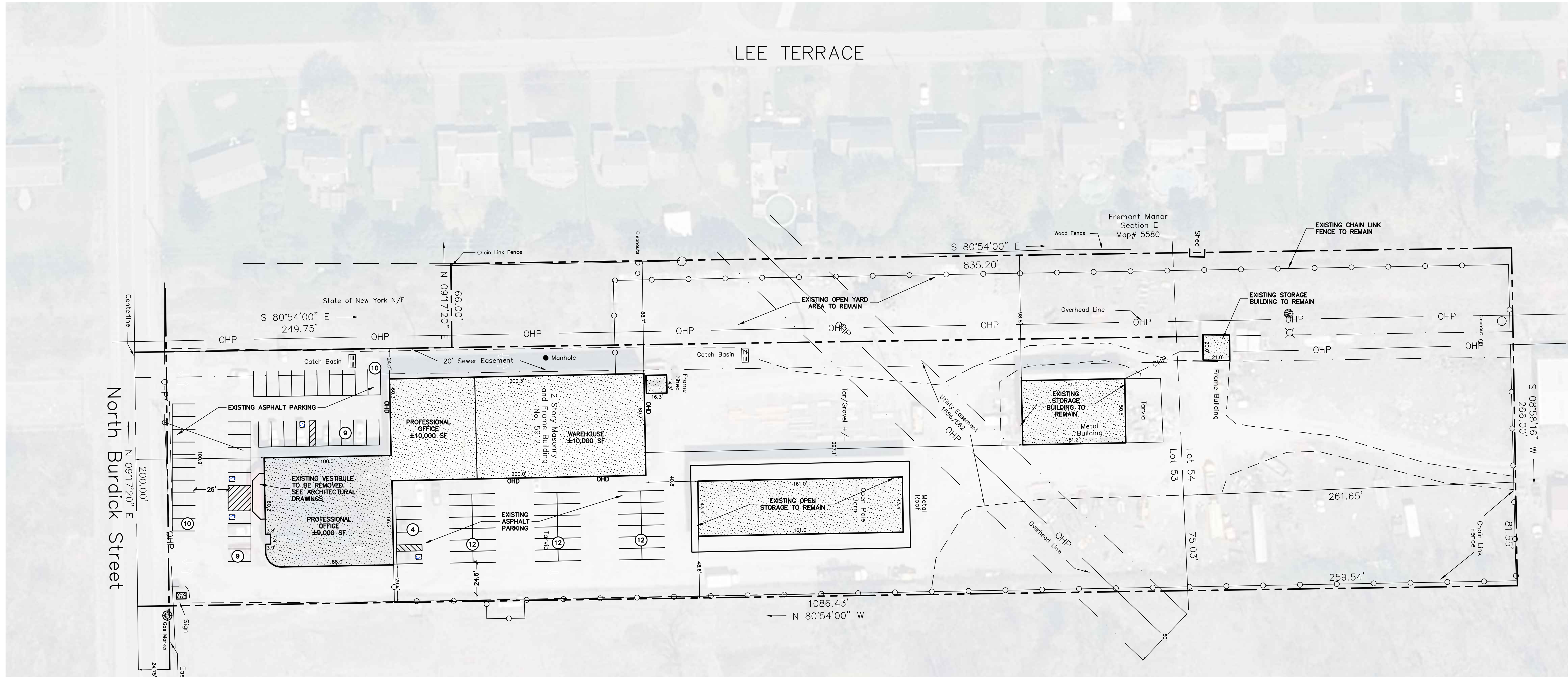
SHEET NUMBER
G2-2



LOCATION MAP
NOT TO SCALE

- NOTES:
- 1) NO CHANGES TO THE SITE AS PART OF THIS SITE PLAN APPROVAL.
 - 2) BUILDING EXTERIOR SHALL BE RENOVATED AS PER ARCHITECTURAL DRAWINGS.
 - 3) NO MODIFICATIONS TO THE EXISTING SITE UTILITIES (WATER, SEWER, ELECTRIC, NATURAL GAS) ARE PROPOSED.

SITE CRITERIA CHECKLIST		
PROJECT SITE INFORMATION		
ADDRESS	5912 N. BURDICK STREET	
TAX MAP ID NO.	077-04-01.1 & 077-3-24.4	
BOUNDARY SURVEY	PROPERTY LINE TAKEN FROM EXISTING CONDITION SURVEY BY MICHAEL J. MCCULLY LAND SURVEYING, PLLC	
TOTAL SITE AREA	6.25 ACRES	
LAND USE	PROFESSIONAL OFFICE & WAREHOUSE	
BUILDING SIZE	±29,000 SF	
ZONING INFORMATION		
ZONING DISTRICT	COMMERCIAL B (CB)	
	REQUIRED	PROVIDED
FRONT YARD SETBACK	30'	NO CHANGE
REAR YARD SETBACK	25'	NO CHANGE
SIDE YARD SETBACK	15'	NO CHANGE
PARKING SPACES	OFFICE: 1 PER 300SF 196,000 SF = 63	78
	WAREHOUSE: 1 PER 2 EMPLOYEES, PLUS ONE VEHICLE FOR THE BUSINESS OPERATION. SAY 10 EMPLOYEES TOTAL = 73	

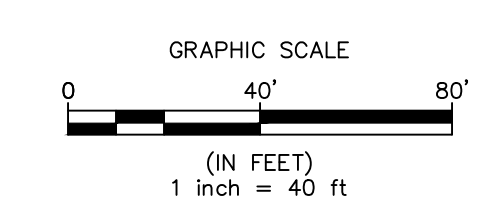


PROPOSED TOWNSHIPS:
**PROPOSED PROFESSIONAL OFFICE
5912 N. BURDICK STREET**
TOWN OF MANLIUS ONONDAGA COUNTY, NY
PREPARED FOR:
IRONHORN ENTERPRISES
5912 N. BURDICK STREET
EAST SYRACUSE, NY 13057

SHEET TITLE:
LAYOUT PLAN

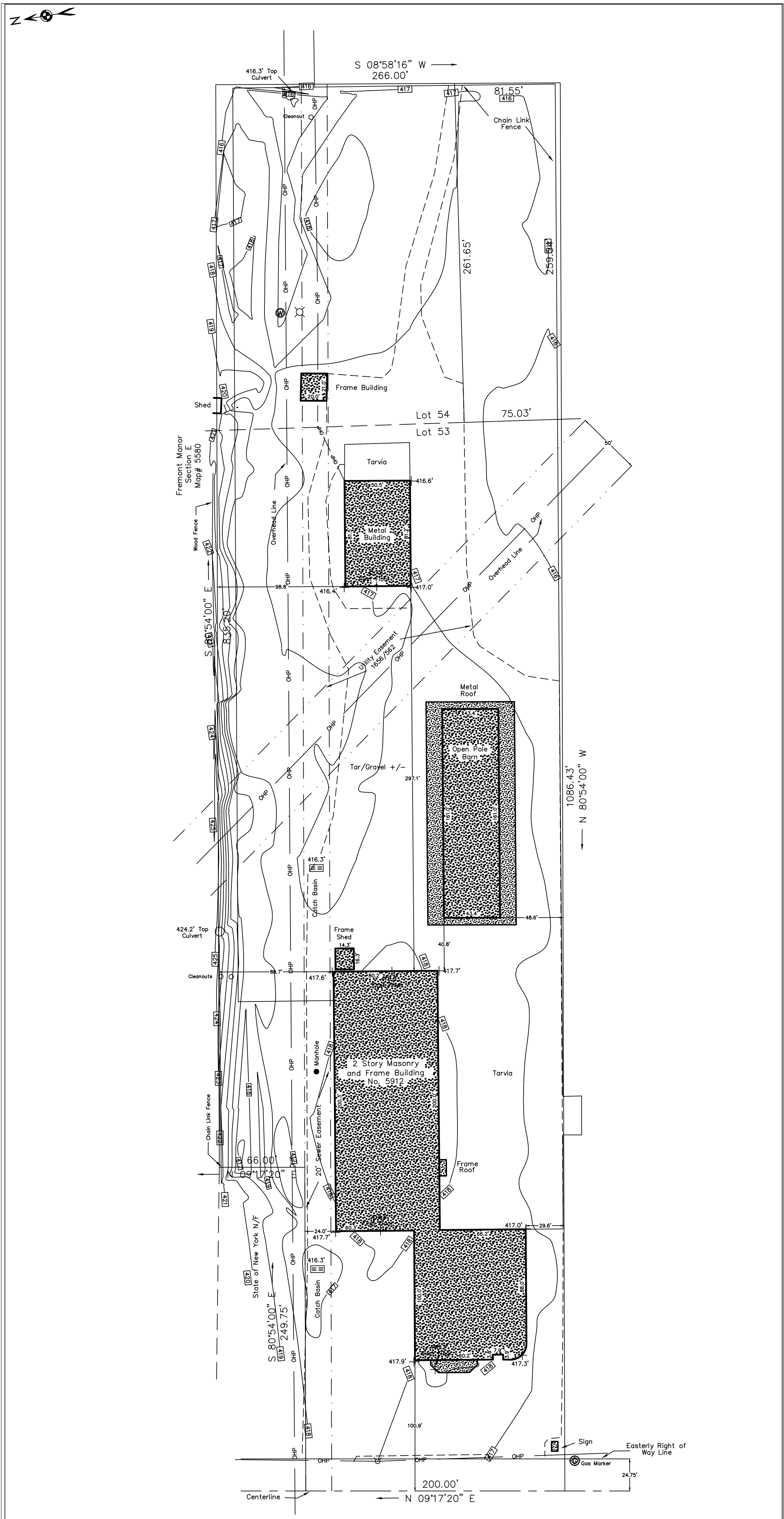
NO.	REVISION/ISSUE	DATE

PREPARED BY:
NAPIERALA CONSULTING
PROFESSIONAL ENGINEER, P.C.
SHEILA • DESIGN • ENGINEERING
110 FAYETTE STREET
MANLIUS, NEW YORK 13104
email: MN.AP@NAPCON.COM
PH: (315) 682-5580 FAX: (315) 682-5544



PROJECT NO. 26-2436
DATE 01 APR 2026
SCALE 1"=40'

SHEET
C-1



North Burdick Street

Notes/References:
 *Elevation Datum is NAVD88 and contour interval is 1.0'. Contour lines are an interpretation of spot elevations and are approximate only.
 *There are several man made mounds that are easterly of the Utility Easement as shown hereon.
 *Map Reference - Survey by Michael J McCully, Land Surveying PLLC dated 11-13-24.
 *Parcel Area = 6.25 Acres, more or less.
 *Parcel may be subject to wetlands.

Date of Fieldwork: 02-19-26
 Tax Id#: 077-04-01.1 & 077-3-24.4
 Deed: 2019/2102
 Abstract: Not Provided

0 50 100 150

<p>Michael J. McCully Land Surveying PLLC 5875 Flatstone Drive Cazenovia New York 13035 Phone : (315) 815-5034</p>		<p>Topographic Survey on Part of Lots 53 and 54, Town of Manlius.</p> <p>Known as No. 5912 North Burdick Street, Town of Manlius, County of Onondaga, State of New York.</p> <p>Drawn by: MBM Scale: 1" = 50'</p> <p>Date(s): 02-21-26</p>
<p>I hereby certify that this map was made from an actual survey and same is correct.</p> <p>M.J. McCully NYSLS 050696</p>	<p>Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law. Only copies from the original of this survey marked with an original of the land surveyor's inked seal or his embossed seal shall be considered to be valid true copies. Certifications shall run only to the person or entities for whom the survey is prepared and are not transferable to subsequent persons or entities. Copyright 2024, Michael J. McCully Land Surveying, all rights reserved.</p>	

Expected
Fee: _____

TOWN OF MANLIUS
PLANNING DEPARTMENT
INITIAL APPEARANCE APPLICATION

DATE: Feb 13, 2026

Name of Project: 7206 East Genesee Resturant

Applicant must submit 10 copies of all site plans, surveys, and supporting data with the final application before a planning board meeting can be scheduled.

Location of Project: 7206 East Genesee St. Fayetteville NY 13066

Type of Project:

Division of Land Subdivision Accessory Use Zone Change Site Review Other _____

Developer: Architect: Jason Huyck Phone: 315-254-4815

Address: 106 Charing Road, Syr NY Zip: 13214

Tax Map Number(#)/s: 92.00-6-04.1

Present Zoning: Commercial A (C-A) Desired Zoning: (C-A)

Total Acreage: 1.7 Total Number of Lots: 1

Property Owner/s: Two Eighteen Prime LLC Phone: 315-956-9738

Address: 7206 E Genesee Street, Fayetteville NY Zip: 13066

Tax Map#(s): 92.00-6-04.1 Owner's Signature: 

Printed Name: Mark Bullis

Property Owner/s: _____ Phone: _____

Address: _____ Zip: _____

Tax Map#(s): _____ Owner's Signature: _____

Printed Name: _____

Use next page for additional known property owners' information

Planning Board Meeting Date Assignment: _____

Fee: _____ Paid: _____ Per: Credit/Debit Card Check Cash

Planning Board - Initial

Reset Form

Print Form

TOWN OF MANLIUS
PLANNING DEPARTMENT
INITIAL APPEARANCE APPLICATION
(continued)

Property Owner/s: _____ Phone: _____

Address: _____ Zip: _____

Tax Map#(s): _____ Owner's Signature: _____

Printed Name: _____

Property Owner/s: _____ Phone: _____

Address: _____ Zip: _____

Tax Map#(s): _____ Owner's Signature: _____

Printed Name: _____

Property Owner/s: _____ Phone: _____

Address: _____ Zip: _____

Tax Map#(s): _____ Owner's Signature: _____

Printed Name: _____

Property Owner/s: _____ Phone: _____

Address: _____ Zip: _____

Tax Map#(s): _____ Owner's Signature: _____

Printed Name: _____

Property Owner/s: _____ Phone: _____

Address: _____ Zip: _____

Tax Map#(s): _____ Owner's Signature: _____

Printed Name: _____

Property Owner/s: _____ Phone: _____

Address: _____ Zip: _____

Tax Map#(s): _____ Owner's Signature: _____

Printed Name: _____

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.


Part 1 – Project and Sponsor Information			
Name of Action or Project: 7206 East Genesee Resturant			
Project Location (describe, and attach a location map): 7206 East Genesee Street, Fayetteville NY 13066			
Brief Description of Proposed Action: Add a second story uncovered porch at the rear of the building and expand the first floor porch for new door.			
Name of Applicant or Sponsor: Jason Huyck, Architect		Telephone: 315-254-4815 E-Mail: jasonhuyck@hotmail.com	
Address: 106 Charing Road			
City/PO: Syracuse		State: NY	Zip Code: 13214
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.7 acres	
b. Total acreage to be physically disturbed?		250sf acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.7 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: Outdoor porch. N.A.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: No water changes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: No Waste water changes.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Jason Huyck</u> Date: <u>2/13/2026</u>		
Signature:  Title: <u>Architect</u>		

PRINT FORM

Project:

Date:

**Short Environmental Assessment Form
Part 2 - Impact Assessment**

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

PRINT FORM

Project:	
Date:	

**Short Environmental Assessment Form
Part 3 Determination of Significance**

For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

None.

Handwritten notes:
 2/20/2014
 7/20/2014

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PRINT FORM

TOWN OF MANLIUS

DISCLOSURE AFFIDAVIT

This affidavit is a part of and must be completed and attached to every application, petition, request submitted for a site plan, variance, amendment, change of zoning, approval of a plat, exemption from a plat or official map, license or permit.

STATE OF NEW YORK)
) SS:
COUNTY OF ONONDAGA)

I. MARK BALLIS, being duly sworn, deposes and says that (s) he is:

APPLICANT

(applicant, petitioner, corporation officer, property owner, etc.)

II. That deponent has read and is familiar with the provisions of the General Municipal Law, Section 809 which states:

- A. Every application, petition or request submitted for a site plan, variance, amendment, change of zoning, approval of a plat, exemption from a plat or official map, license or permit, pursuant to the provisions or any ordinance, local law, rule or regulation constituting the zoning and planning regulations of a municipality shall state the name, residence and the nature and extent of the interest of any state officer or any officer or employee of such municipality is a part, in the person, partnership or association making such application, petition or request (hereinafter called the applicant) to the extent known to such applicant.
B. For the purpose of this action an officer or employee shall be deemed to have an interest in the applicant when (s)he, his/her spouse, or their brothers, sisters, parents, children, grandchildren, or the spouse of any of them:
1) is the applicant, or
2) is an officer, director, partner or employee of the applicant, or
3) legally or beneficially owns or controls stock of a corporate applicant or is a member of a partnership or association applicant, or
4) is a party to an agreement with such an applicant, express or implied, whereby (s) he may receive any payment or other benefit, whether or not for services rendered, or contingent upon the favorable approval of such application, petition or request.
C. Ownership of less than five percent (5%) of the stock of a corporation whose stock is listed on the New York or American Stock Exchanges shall not constitute an interest for the purposes of this section.
D. A person who knowingly and intentionally violates this section shall be guilty of a misdemeanor.

III. That no Town of Manlius officer, employee or a relative of either, as defined in Section 809 General Municipal Law has any interest in this application.

-OR-

If a Town of Manlius officer, employee or relative of either as defined in Section 809 General Municipal law has any interest in this application, the full particulars are provided on an attached sheet.

Date: _____, 20____.

Date: 3-16, 2026.

(Print Name)

Mark Bullis
(Print Name)

(Signature)

[Signature]
(Signature)

(Entity Name)

TWO EIGHTEEN PRIME LLC
(Entity Name)

By (Officer) (Title)

Mark Bullis MEMBER
By (Officer) (Title)

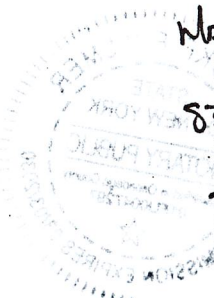
(Mailing Address of Applicant)

8341 EAST SENECA TPK MANLIUS
(Mailing Address of Applicant)

13104

(Telephone Number)

315.956.9738
(Telephone Number)



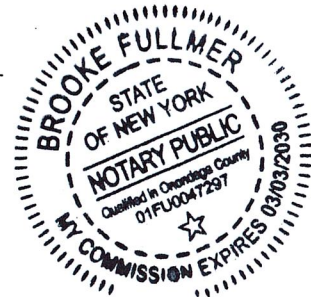
ACKNOWLEDGEMENTS

STATE OF NEW YORK)
) SS:
COUNTY OF ONONDAGA)

On this 16 day of March in the year 20 26, before me, the undersigned, a notary public in and for said state, personally appeared Mark Bullis,

and _____ personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within Petition and acknowledged to me the he/she/they executed the same in his/her/their capacity, and that by his/her/their signature(s) on the Petition, the individual or the persons upon behalf of which the individual acted executed the instrument.

Brooke Fullmer
Notary Public




CORPORATE ACKNOWLEDGEMENT

STATE OF NEW YORK)

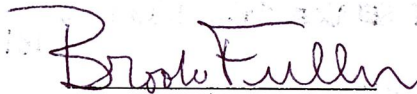
) SS:

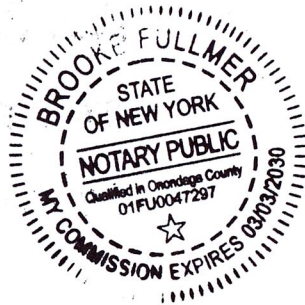
COUNTY OF ONONDAGA)

Mark Bullis, being duly sworn, deposes and says the
s(he) is the MENGE of TWO EIGHTEEN PRIME LLC
corporation named in the within Application/Petition, that s(he) has read the foregoing affidavit and
knows the contents thereof; that the same is true of s(he) own knowledge, except as to those matters
therein stated to be alleged upon information and belief, and as to those matters s(he) believes it to be
true.


Applicant Signature

Subscribed to me before this day
Of March 16, 2026


Notary Public

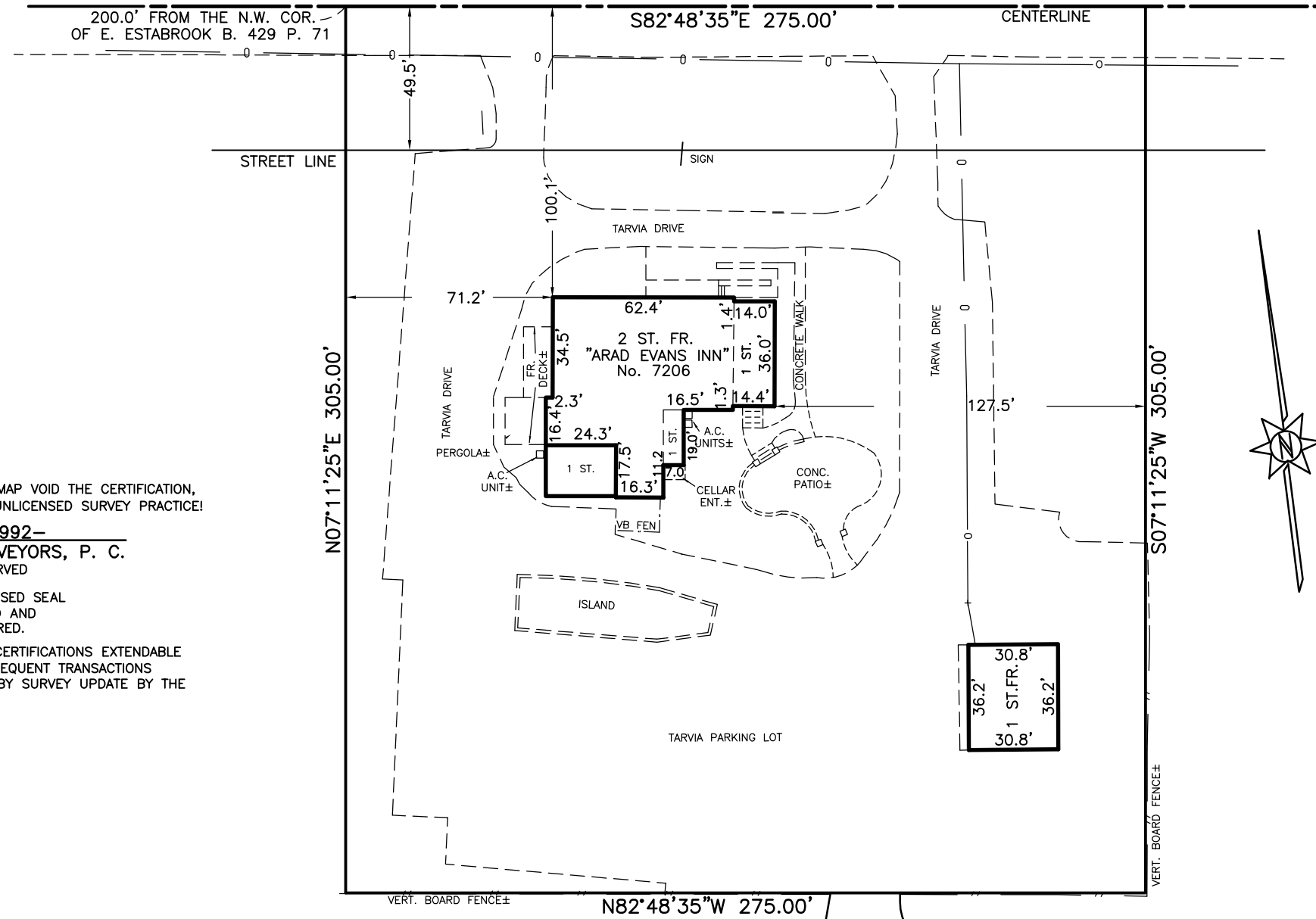


EAST GENESEE STREET – N.Y.S. RTE. 5

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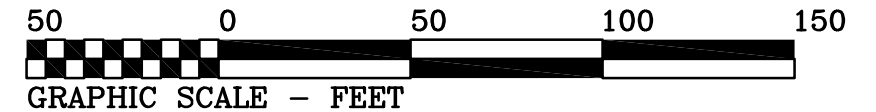
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No. 7206 EAST GENESEE ST.
**PART OF LOT 74 – TOWN OF MANLIUS
 ONONDAGA CO., N. Y.**

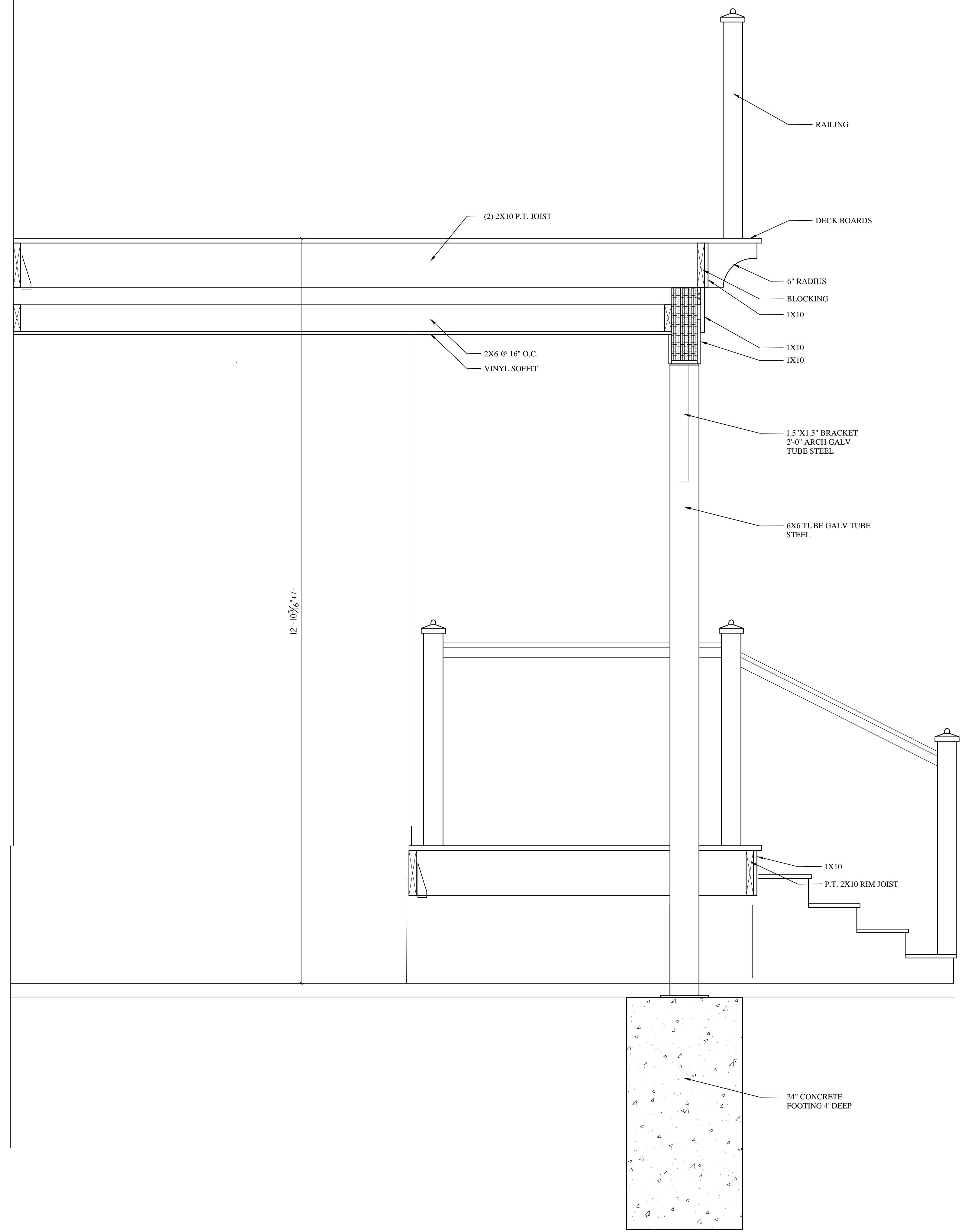
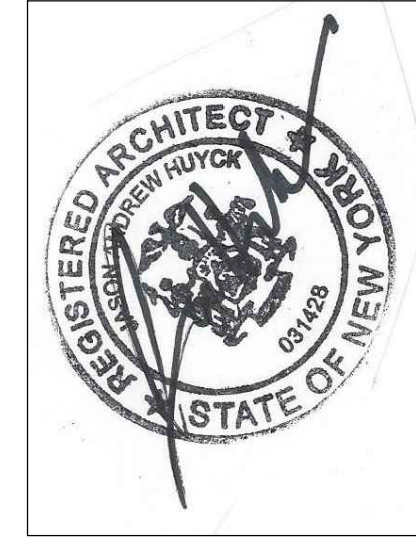
SCALE: 1" = 50' COTTRELL LAND SURVEYORS, P.C.
 MARCH 2, 2010 MANLIUS, NY – (315) 682-8121



AREA = 1.926± ACRES(INCLUDING ROADS)

I.D: 92-6-4.1
 FILE: FOLDER, ROLL 92-6
 B/P:

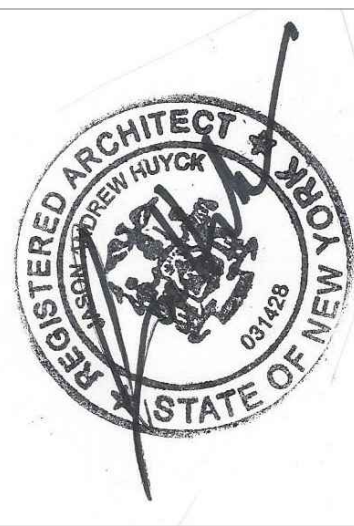
GENESEE EAST \$7206 MAN74 %ARAD EVANS (KIMRY) ©20100302LOC @20201207UP.dwg



Scale: As Noted
Date: Feb 13, 2026
Revisions:

Deck Section

Restaurant
7206 East Genesee Street
Fayetteville, NY 13066

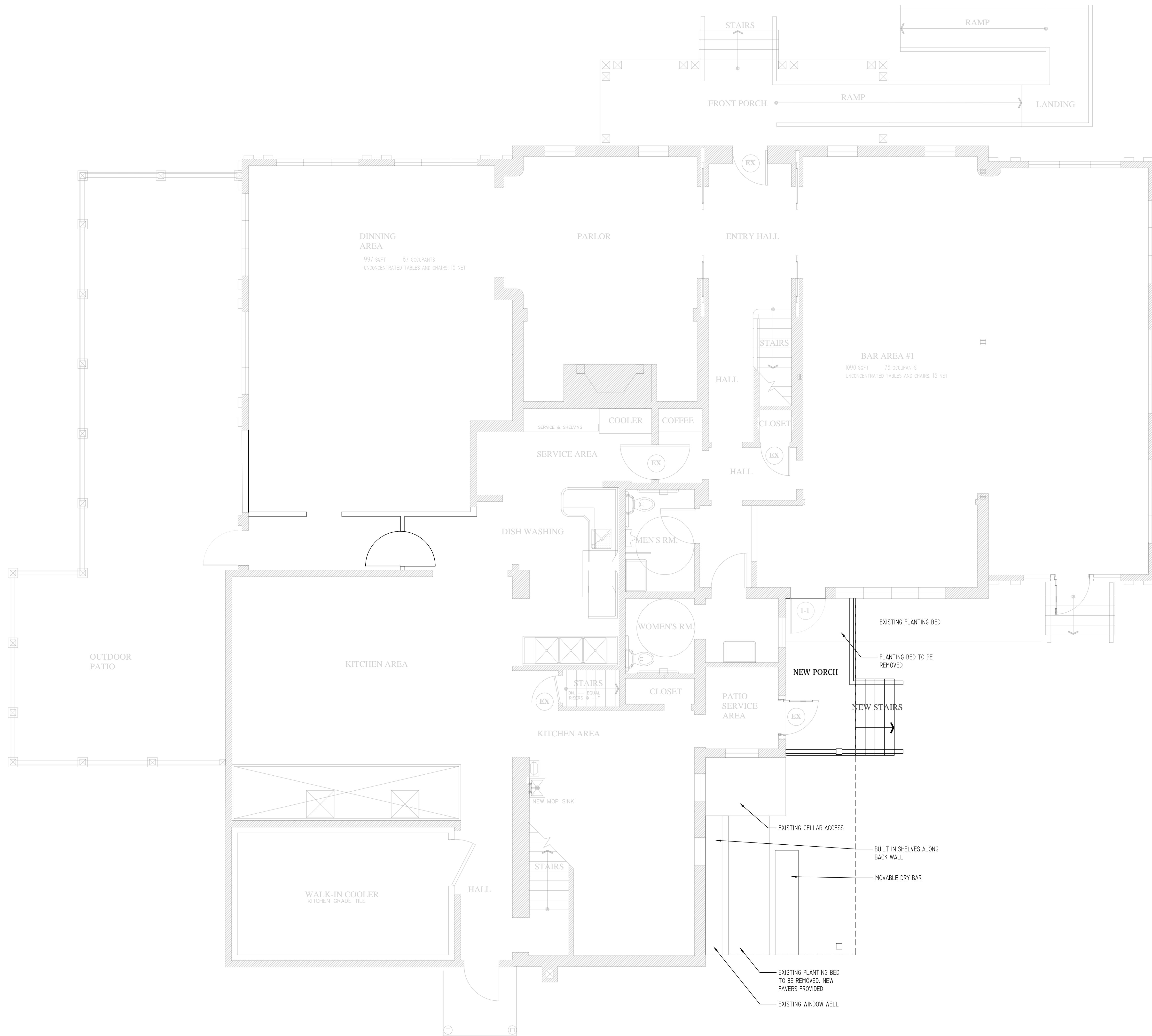


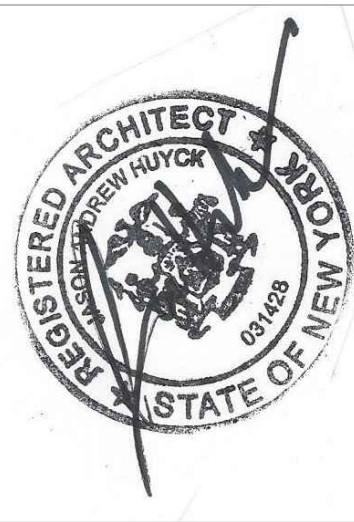
Scale: 1/4" = 1'-0"
Date: Feb 13, 2026
Revisions:
April 5, 2026

First Floor Plan

Restaurant
7206 East Genesee Street
Fayetteville, NY 13066

A-1





Scale: 1/4" = 1'-0"
Date: Feb 13, 2026
Revisions:
April 5, 2026



First Floor Plan

Restaurant
7206 East Genesee Street
Fayetteville, NY 13066

A-3



[HOME](#) // [PRODUCTS](#) // [ARC1 LED WALL MOUNT](#)



ARC1 LED Wall Mount

Size 1 – up to 3,000 lumens



[OVERVIEW](#) [SPECIFICATIONS](#)

ARC LED Wall Mount Luminaires combine visually comfortable illumination and architectural styling to create an affordable lighting upgrade.



The ARC family has two sizes with lumen packages of 1,500 to 6,500 lumens creating a solution that meets the needs of over-the-door lighting to mounting heights of up to 15-feet, replacing 70W to 250W metal halide lamps. The ARC LED luminaires improve the architecture and visual environment of any building and does so with a high energy savings of 80% and low initial cost, making it the choice for wall-mounted lighting upgrades.

ARC Size 1 is available with lumen packages from 1,500 to 3,000 lumens, making it ideal for over-the-door applications and mounting heights of up to 10-feet. Emergency battery pack, photocell, CCT and finish options make the ARC configurable to meet the needs of any application.

PRODUCT INFORMATION

Spec Sheets	
Photometry & Revit (BIM)	
Spectral Data Sheets	
Technical Documents (e.g. Instruction Sheets, MSDS, CAD)	
Utility Rebate Search	
Replacement Parts	

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BUILD CAT. # / SUBMITTAL SPEC SHEET

Start Configuring a Product



GALLERY



VIDEOS

The Lithonia Lighting® ARC LED Wall Pack Luminaires: Upgrade your expectations

Acuity



Watch on

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FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.

CONSTRUCTION — Durable square metal reflectors retained by torsion springs.

Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches.

Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment.

Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C.

Accommodates 12"-24" joist spacing.

Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.

Max ceiling thickness 1-1/2".

OPTICS — LEDs are binned to a 3-step MacAdam Ellipse; 80 CRI minimum. 90 CRI optional.

LED light source concealed with diffusing optical lens.

General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image.

Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.

Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes.

UGR — UGR is zero for fixtures aimed at nadir with a cut-off equal to or less than 60deg, per CIE 117-1996 Discomfort Glare in Interior Lighting.

ELECTRICAL — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available.

0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled.

LUMEN MAINTENANCE — 70% lumen maintenance at 60,000 hours. (L70/60,000 hours)

LISTINGS — Certified to US and Canadian safety standards. Wet location standard (covered ceiling). IP55 rated. Drivers are RoHS compliant.

GOVERNMENT PROCUREMENT — BAA — Product with the BAA option qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product with the BAA option also qualifies as manufactured in the United States under DOT Buy America regulations.

BABA — Build America Buy America: Product with the BAA option also qualifies as produced in the United States under the definitions of the Build America, Buy America Act.

Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed.

Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

PERFORMANCE DATA

LDN6SQ 3500K AR LSS 80CRI			
Nominal Lumens	Lumens	Wattage	Lm/W
500	498	5.8	85.4
750	715	8.9	80.2
1000	896	10.4	85.8
1500	1428	17.5	81.5
2000	1892	22.5	84.0
2500	2362	28.3	83.6
3000	2850	34.8	82.0
4000	3781	44.3	85.4
5000	4694	57.7	81.4

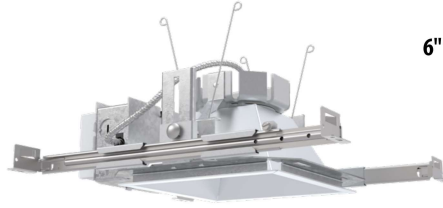
Notes

- Tested in accordance with IESNA LM-79-08.
- Tested to current IES and NEMA standards under stabilized laboratory conditions.
- CRI: 80 typical.

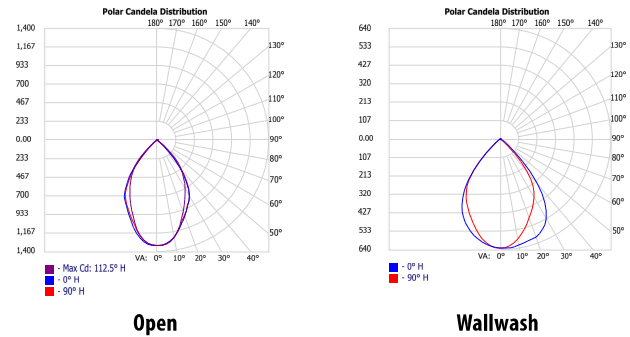


Catalog Number
Notes
Type

LDN6SQ STATIC WHITE

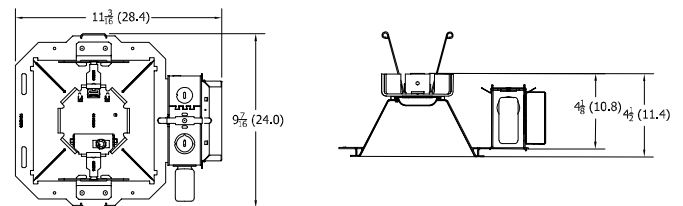


**6" Square Open and Wallwash LED
Non-IC
New Construction Downlight**



DIMENSIONS

LDN6SQ 500 - 1500 LUMENS



Aperture: 6-1/4 (15.9)
Ceiling Opening: 7-1/8 (18.1)
Overlap Trim: 7-1/2 (19.1)

See page 4 for other fixture dimensions

ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: LDN6SQ 35/15 LS6 AR LSS MVOLT EZ1

LDN6SQ Series	Color temperature	Lumens ‡	Trim Style	Trim Color	Trim Finish	Flange Color ‡	Voltage
LDN6SQ 6" square	27/ 2700K 30/ 3000K 35/ 3500K 40/ 4000K 50/ 5000K	05 500 lumens 07 750 lumens 10 1000 lumens 15 1500 lumens 20 2000 lumens 25 2500 lumens 30 3000 lumens 40 4000 lumens 50 5000 lumens	LS6 Downlight LSW6 Wallwash	AR Clear WR ‡ White BR ‡ Black TCPC ‡ Custom painted trim TRALTBD ‡ RAL painted trim	LSS Semi-specular LD Matte diffuse LS Specular	TRW White painted flange TRBL Black painted flange FCPC Custom painted flange only FRALTBD RAL painted flange only	MVOLT Multi-volt 120 120V 277 277V 347 ‡ 347V

Driver	Emergency ‡	Control Input ‡	Options
GZ10 0-10V driver dims to 10%	(blank)	(blank)	HAO ‡ High ambient option (40°C)
GZ1 0-10V driver dims to 1%	EL	SSAIR	CP ‡ Chicago Plenum
D10 Minimum dimming 10% driver for use with SSAIR	ELR	NPP16D	RRL___ RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLC12S.
D1 Minimum dimming 1% driver for use with SSAIR	ELSD	NPP16DER	BAA Buy America(n) Act and/or Build America Buy America Qualified
EZ1 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 1%	ELRSD	NPS80EZ	90CRI High CRI (90+)
EDAB eldoLED DALI SOLDRIVE dim to dark	E10WCP	NPS80EZER	SF ‡ Single fuse
	E10WCPR	N80	
	E10WRSTAR	NLTAIR2	
		NLTAIRER2	
		NLTAIREM2	

‡ Option Value Ordering Restrictions

Option value	Restriction
Lumens	Overall height varies based on lumen package; refer to dimensional chart.
WR, BR	Not available with finishes.
347	Not available with emergency options.
SF	Must specify voltage 120V or 277V.
TRW, TRBL	Available with clear (AR) reflector only.
EL, ELR, ELSD, ELRSD, E10WCP, E10WCPR	12.5" of plenum depth or top access required for battery pack maintenance.
NPP16D, NPP16DER, NPS80EZ, NPS80EZER	Specify voltage. ER for use with generator supply EM power. Will require an emergency hot feed and normal hot feed. See UL 924 Sequence of Operation table.
N80	Fixture begins at 80% light level. Must be specified with NPS80EZ or NPS80EZ ER. Only available with EZ1 drivers.
NLTAIR, NLTAIR2, NLTAIRER2, NLTAIREM2	Not available with CP, NPS80EZ, NPS80EZER, NPP16D, NPP16DER or N80 options. Not recommended for metal ceiling installations.
HAO	Fixture height is 6.5" for all lumen packages with HAO.
CP	Must specify voltage for 3000lm and above. 5000lm with marked spacing 24 L x 24 W x 14 H. Not available with emergency battery pack option.
SSAIR	Must specify D10 or D1 driver. Not available with nLight options. Not available with CP. Not recommended for metal ceiling installation. Not for use with emergency backup power systems other than battery packs.
Reloc® Options	Refer to RRL specification sheet on acuitybrands.com for further details.
RRLAE	Commercial fixtures should disconnect the TSPL before unplugging the RRL so it does not go into discharge mode."
RRLC12S	RRLC12S option is to be used with the OnePass OCU, OCS, OD, OFC and OD for 0-24V integrated single-circuit or 0-10V low voltage controls applications. Not available with integral dimming sensors.
E10WRSTAR	Not available with wet location, EC1, EC6, QDS, CP, 347V, NPS80EZ ER, NLTAIRER2, NLTAIREM2, ALO3 & ALO4 w/DALI, OR 2000-4500 lumens w/SSAIR. Top access installation or 17.5" plenum clearance required for roomside installation. Not available with integral test switch
TRALTBD, FRALTBD	RALTBD for pricing only. Replace with applicable RAL number and finish when ready to order. See the RAL BROCHURE for available color options.
TCPC, FCPC	CPC options for pricing only. Custom color chip needs to be sent in to your Customer Resolution specialist before order can be processed. Click HERE for more details

Emergency Battery Pack Options - Field Installable

Battery Model Number	Wattage	Runtime (Minutes)	Lumen Output* @ 120 Lumens/Watt	Other
ILB CP07 2H A	7W	120	840	Storm Shelter / 2 Hour Runtime
ILB CP10 A	10W	90	1200	
ILBLP CP10 HE SD A+	10W	90	1200	Title 20, Self Diagnostic
ILBLP CP15 HE SD A+	15W	90	1800	Title 20, Self Diagnostic
ILB CP20 HE A	20W	90	2400	Title 20
ILB CP20 HE SD A	20W	90	2400	Title 20, Self Diagnostic
ILBHI CP10 HE SD A+	10W	90	1200	347-480V AC Input, Title 20, Self Diagnostic
ILBHI CP15 HE SD A+	15W	90	1800	347-480V AC Input, Title 20, Self Diagnostic

All the above are UL Listed products that are certified for field install external/remote to the fixture.

*Minimum delivered lumen output to assist in product selection for increased fixture mounting height.

The CP10 delivered emergency illumination outperforms legacy 1400 lumen fluorescent emergency ballast.

Please contact us at techsupport@iotaengineering.com for any Emergency Battery related questions.

COMPATIBLE 0-10V WALL-MOUNT DIMMERS		
MANUFACTURER	PART NO.	POWER BOOSTER AVAILABLE
Lutron®	Diva® DVTV	
	Diva® DVSTV	
	Nova T® NTFTV	
	Nova® NFTV	
Leviton®	AWSMT-7DW	CN100
	AWSMG-7DW	PE300
	AMRMG-7DW	
	Leviton Centura Fluorescent Control System	
	IlumaTech® IP7 Series	
Synergy®	ISD BC	RDMFC
	SLD LPCS	
	Digital Equinox (DEQ BC)	
Douglas Lighting Controls	WPC-5721	
Entertainment Technology	Tap Glide TG600FAM120 (120V)	
	Tap Glide Heatsink TGH1500FAM120 (120V)	
	Oasis OA2000FAMU	
Honeywell	EL7315A1019	EL7305A1010 (optional)
	EL7315A1009	
HUNT Dimming	Preset slide: PS-010-IV and PS-010-WH	
	Preset slide: PS-010-3W-IV and PS-010-3W-WH	
	Preset slide, controls FD-010: PS-IFC-010-IV and PS-IFC-010-WH-120/277V	
	Preset slide, controls FD-010: PS-IFC-010-3W-IV and PS-IFC-010-3W-WH-120/277V	
	Remote mounted unit: FD-010	
Lehigh Electronic Products	Solitaire	PBX
PDM Electrical Products	WPC-5721	
Starfield Controls	TR61 with DALI interface port	RT03 DALInet Router
WattStopper®	LS-4 used with LCD-101 and LCD-103	

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control capability with simple commissioning when used with Acuity Brands controls products.

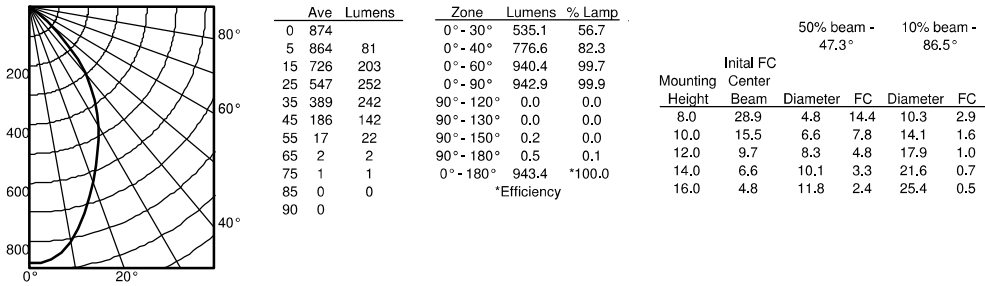
All configurations of this luminaire are calibrated and tested to meet the Acuity Brands' specification for chromatic consistency - including color rendering, color fidelity and color temperature tolerance around standard CIE chromaticity coordinates.

To learn more about A+, visit www.acuitybrands.com/aplus.

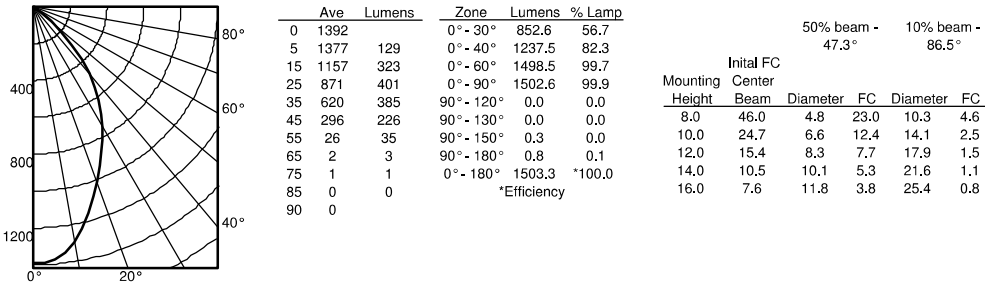
PHOTOMETRY

Distribution Curve Distribution Data Output Data Illuminance Data at 30" Above Floor for a Single Luminaire

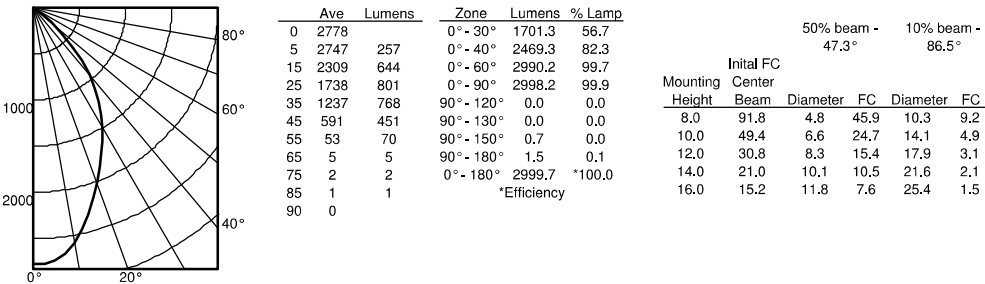
LDN6SQ 35/10 LS6AR, input watts: 10.44, delivered lumens: 942.9, LM/W = 90.31, spacing criterion at 0= 0.96, test no. ISF 31035P168.



LDN6SQ 35/15 LS6AR, input watts: 17.52, delivered lumens: 1502.6, LM/W = 85.76, spacing criterion at 0= 0.96, test no. ISF 31035P171.



LDN6SQ 35/30 LS6AR, input watts: 34.75, delivered lumens: 2998.2, LM/W = 86.27, spacing criterion at 0= 0.96, test no. ISF 31035P180.



HOW TO ESTIMATE DELIVERED LUMENS IN EMERGENCY MODE

Use the formula below to estimate the delivered lumens in emergency mode

Delivered Lumens = 1.25 x P x LPW

P = Output power of emergency driver. P = 10W for PS1055CP

LPW = Lumen per watt rating of the luminaire. This information is available on the ABL luminaire spec sheet.

The LPW rating is also available at Designlight Consortium.

LUMEN OUTPUT MULTIPLIERS - FINISH			
	Clear (AR)	White (WR)	Black (BR)
Specular (LS)	1.0	N/A	N/A
Semi-specular (LSS)	0.950	N/A	N/A
Matte diffuse (LD)	0.85	N/A	N/A
Painted	N/A	0.87	0.73

LUMEN OUTPUT MULTIPLIERS - CCT					
	2700K	3000K	3500K	4000K	5000K
80CRI	0.950	0.966	1.000	1.025	1.101

LUMEN OUTPUT MULTIPLIERS - CRI	
80	1.0
90	0.874

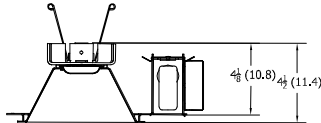
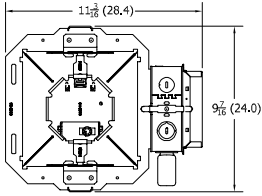
Notes

- Tested in accordance with IESNA LM-79-08.
- Tested to current IES and NEMA standards under stabilized laboratory conditions.
- CRI: 80 typical.

LDN6SQ

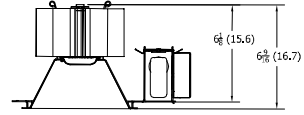
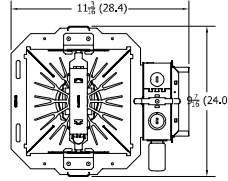
* All dimensions are inches (centimeters) unless otherwise noted.

LDN6SQ 500 - 1500 LUMENS



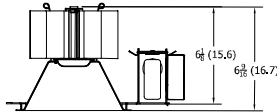
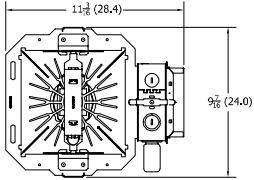
Aperture: 6-1/4 (15.9)
Ceiling Opening: 7-1/8 (18.1)
Overlap Trim: 7-1/2 (19.1)

LDN6SQ 2000 - 3000 LUMENS



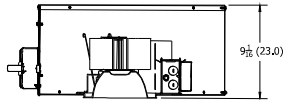
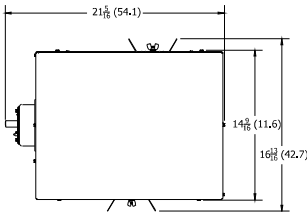
Aperture: 6-1/4 (15.9)
Ceiling Opening: 7-1/8 (18.1)
Overlap Trim: 7-1/2 (19.1)

LDN6SQ 4000 - 5000 LUMENS

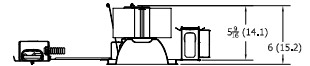
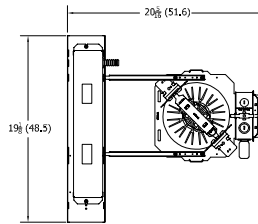


Marked Spacing: 24 x 24 x 10
Aperture: 6-1/4 (15.9)
Ceiling Opening: 7-1/8 (18.1)
Overlap Trim: 7-1/2 (19.1)

LDN6 CP



LDN6 EL



Marked Spacing over 3000 Lumens: 24 x 24 x 10
Aperture: 6-1/4 (15.9)
Ceiling Opening: 7-1/8 (18.1)
Overlap Trim: 7-1/2 (19.1)



Performance You Can Count On

SensorSwitch™ offers standalone wired and wireless lighting controls solutions designed for room-based applications. Our products offer reliable performance and ease of installation.

Sensorswitch.com

Wireless Embedded Controls



1. Install the luminaires with embedded controls
2. Insert the pairing tool into the pinhole on the wall switch; press and hold any button for 6 seconds.
3. Once paired, each fixture will individually dim down to 10% brightness. All products will be fully functional.



SensorSwitch
WSXA SSA

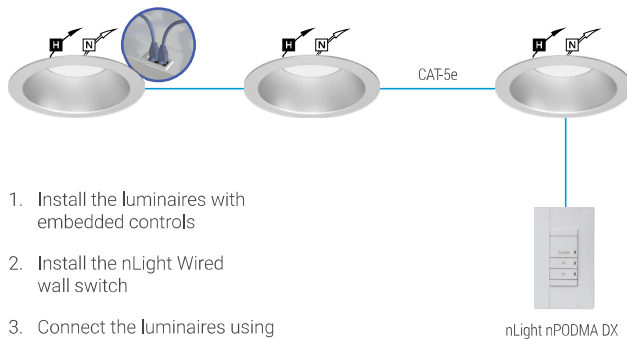


Single Lighting Controls Platform for Indoor & Outdoor Spaces

nLight® is your networked lighting controls platform, for indoor and outdoor applications, providing wired or wireless options. Scaling from room to campus-wide applications, it is the one platform that grows with your business today and tomorrow; to seamlessly address energy cost optimization, building code compliance, improved occupant comfort, and much more. nLight also interfaces with DALI®, BACnet®, DMX and additional third-party devices.

nlightcontrols.com

Wired Embedded Controls



1. Install the luminaires with embedded controls
2. Install the nLight Wired wall switch
3. Connect the luminaires using standard CAT-5e cables and the controls devices will automatically discover each other and work (plug and play)

Wireless Embedded Controls



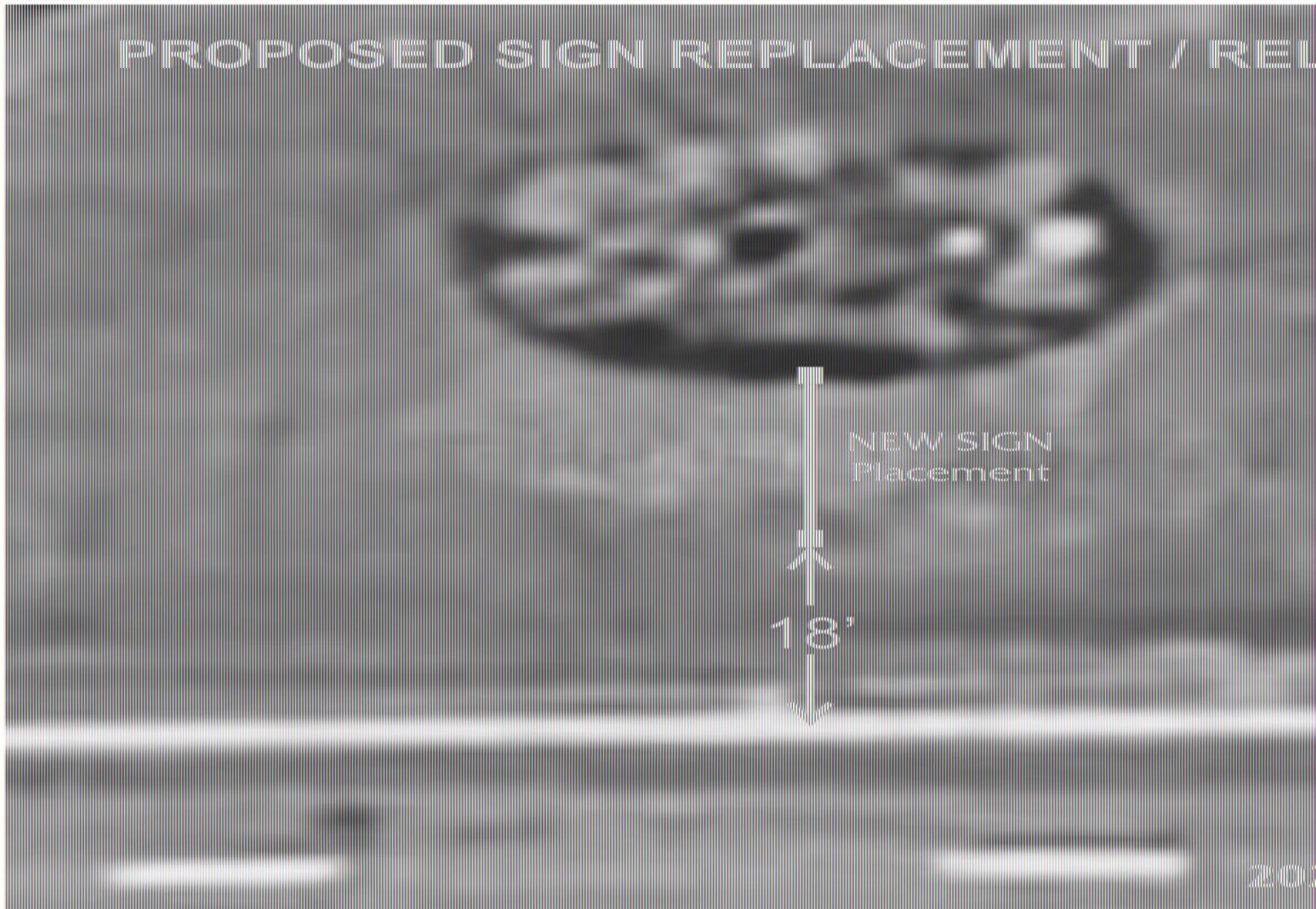
1. Install the luminaires with embedded controls
2. Install the nLight AIR battery-powered wall switch
3. Use CLAIRITY+ mobile app to pair the fixtures with the wall switch and if desired, customize the sensor settings

UL924 Sequence of Operation

The below information applies to all nLight AIR devices with an EM option.

- EM devices will remain at their high-end trim and ignore wireless lighting control commands, unless a normal-power-sensed (NPS) broadcast is received at least every 8 seconds.
- Using the CLAIRITY+ mobile app, EM devices must be associated with a group that includes a normal power sensing device to receive NPS broadcasts.
- Only non-emergency rPP20, rLSXR, rSBOR, rSDGR, and nLight AIR luminaires with version 3.4 or later firmware can provide normal power sensing for EM devices. See specification sheets for control devices and luminaires for more information on options that support normal power sensing.

PROPOSED SIGN REPLACEMENT / RELOCATION



PROPOSED SIGN REPLACEMENT / RELOCATION



PROPOSED D/S ILLUMINATED SIGN CABINET W/ROUTED

SW Armory BLACK
Internally Illuminated
8" EXTRUDED ALUMINUM
CABINET

SW Armory BLACK
ALUMINUM PANEL
CNC'd

(Imitation

72"

FROM TOP
OF SIGN
TO GRADE

CNC'd ROUTED FACE
W/ ACRYLIC BACK
"Allowing to pass thru"
"Dear Dad" only

Perimeter "halo"
LED Illumination
NOTE:
All Illumination to be
2200 Kelvin LED

Affixed Aluminum letters.
.25" depth
ACTUAL COLOR TBD
"Non illuminated"

Standard
3.5" X 5.5"
wood posts

7206 E. Genesee St. Fayetteville.

BU

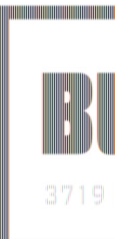
3719

PROPOSED D/S ILLUMINATED SIGN CABINET W/ROUTER



Hole Depth Minimum 36"

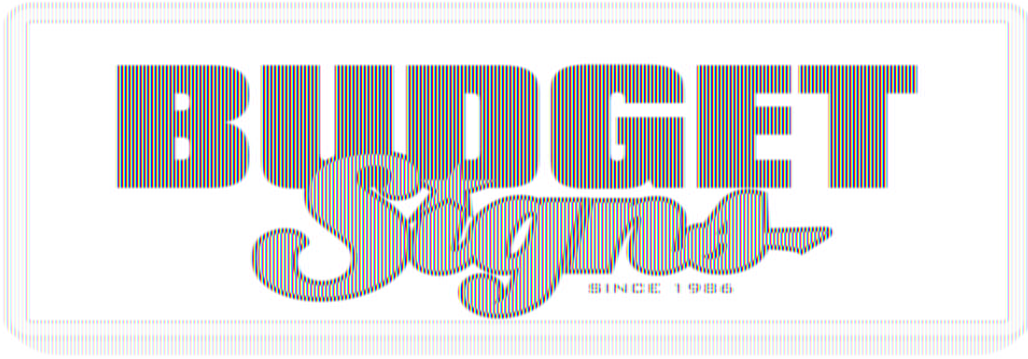
7206 E. Genesee St. Fayetteville.



PROPOSED INTERNALLY ILLUMINATED SIGN CA
2 SIDED CABINET MEASURES 36" X 96", SHOWN TO



7206 E. Genesee St. Fayetteville.



315-463-1274

3719 New Ct Ave #101
Syracuse, NY 13206

CLIENT: _____

7/

Faye

DATE: _____

PHONE: _____

E-MAIL: _____

mark@the

COMPLETION DATE: TBD TERMS: 50% down

DESCRIPTION: 36" x 96" OUTDOOR PYLON SIGN CABINET

Engineer, produce & install (1) Custom DS 36" x 96" internally illuminated sign cabinet to newly set posts.(posts set by others). Final electrical connection will be done within 3' of sign cabinet placement. Cabinet consists of LED lighting, stainless steel 8" extruded aluminum frame with aluminum faces CMC routed & backed with stainless steel. Additional copy "Steak,Pasta,Bar will be .25" aluminum letters affixed & painted to match chosen similar building color. Cabinet frame and panel colors will be Armory Black.

Every effort will be made to have this installed within 24 days of deposit. There is a 2 year warranty on materials & workmanship, a 1 year warranty on parts and a 180 day warranty on labor. Time frame: Approximately 2 wks from receipt of deposit.

PRICES as indicated above, are minimum estimates for art or sign work only. Photostats, photograph and/or additions, delays caused by the client, special consultations and all other work expense that cannot be accurately in advance will be billed extra unless otherwise specified.

FINISHED art, mechanicals, and signs will be released for use by the client only. Mechanicals, original materials other than signs originated by the designer are the property of the designer and will be held by the designer unless otherwise specified.

THE client agrees to pay all costs of collection in the event of default of payment by the client, including attorney's fee.

SPECIAL conditions on clients purchase orders in no way negate the above Conditions of Sale. In order for client to accept all of these conditions weather noted on his purchase order or not.

ALL signs and graphics remain the property of Budget Signs until Budget Signs has been paid in full.

*ALL ITEMS DO NOT INCLUDE SALES TAX, PERMIT FEES OR ADDITIONAL ZONING COORESPONDANCE.

SIGNATURE _____

COMPANY _____

Thank you for your order, please make check payable to Budget Signs

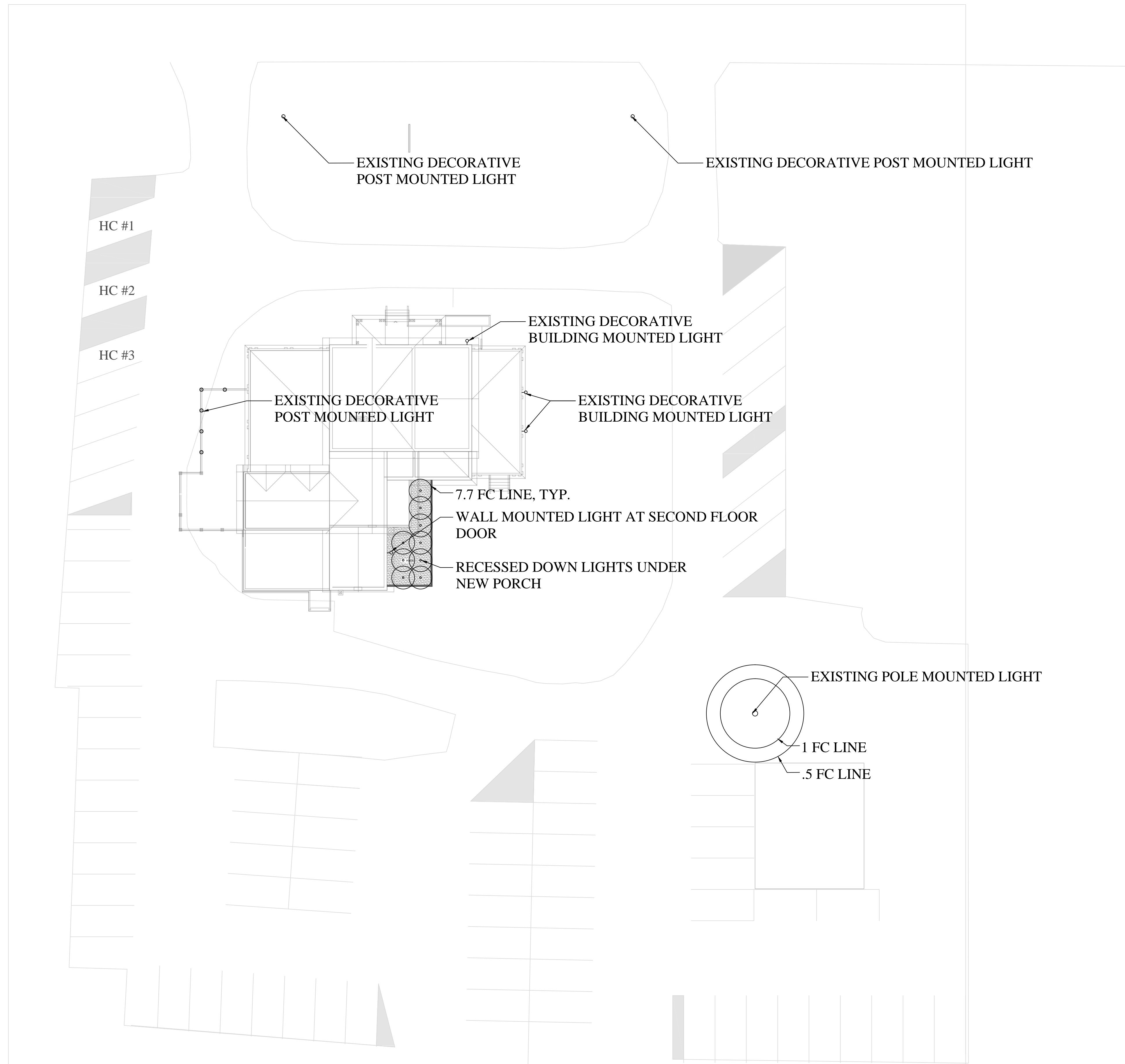
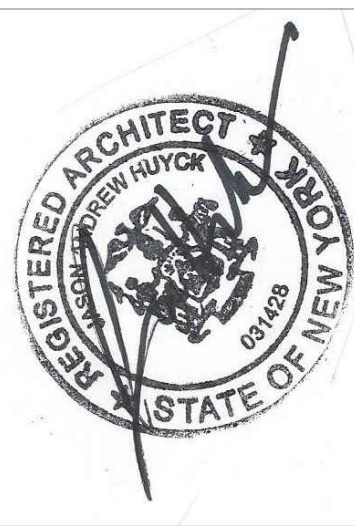


Scale: 1/16" = 1'-0"
Date: Feb 13, 2026
Revisions:
April 5, 2026

Site Plan

Restaurant
7206 East Genesee Street
Fayetteville, NY 13066

A-5



Scale: 1/16" = 1'-0"
Date: Feb 13, 2026
Revisions:
April 5, 2026

Site Lighting Plan

Restaurant
7206 East Genesee Street
Fayetteville, NY 13066