

Town of Manlius

Planning Board Meeting Agenda

August 22, 2022

6:30PM

1. Zoom Meeting Instructions

Documents:

[ZOOM PLANNING BOARD MEETING INSTRUCTIONS AUGUST 22, 2022.PDF](#)

2. Pledge Of Allegiance

3. Approval Of Minutes August 8, 2022

4. Kaesar Compressors, INC. - 511 Sigma Drive, Fredericksburg, VA 22408 - Initial Presentation - Site Plan And Special Use Permit - 7162 North Central Ave, East Syracuse, NY 13057 - Tax Map # - 054.-02-01.0

Documents:

[7162 NORTH CENTRAL AVE - APPLICATION AND SUPPORTING DOCUMENTS.PDF](#)

5. KDP Manlius NY , LLC - 449 North Clark Street, Suite 400, Chicago, IL 60654 - Initial Presentation - Site Plan - Electric Car Sales And Service - 5427 North Burdick Street, Fayetteville, NY 13066 - Tax Map #'s 086.0-1-4.2 And 086.0-1-4.3

Documents:

[5427 NORTH BURDICK STREET - APPLICATION.PDF](#)
[5427 NORTH BURDICK EAF.PDF](#)
[5427 NORTH BURDICK STREET - ARCHITECTURE PLANS.PDF](#)
[5427 NORTH BURDICK STRET - SITE PLAN.PDF](#)

6. Other Business

7. Adjournment



August 22, 2022

Virtual Planning Board Meeting

Instructions to attend the August 22, 2022 virtual Planning Board meeting:

The easiest way to join is to go to our website www.TownOfManlius.org and click on the link that is located on the homepage. You can also watch on our Facebook page by searching for "Town of Manlius"

Enter the meeting url web address as listed below:

<https://us02web.zoom.us/j/87433312356?>

Password to join when prompted:

Password: 691732

Enter your email address and name and join the meeting!

Join by telephone by dialing the number below:

1-(929) -436-2866

When prompted to enter the Webinar ID, use the number below followed by #

Webinar ID: 874 3331 2356

Press # again to skip the personal id and enter the password below followed by #

Password: 691732

Expected

Fee: _____

TOWN OF MANLIUS
PLANNING DEPARTMENT
INITIAL APPEARANCE APPLICATION

DATE: 08/05/2022

Name of Project: Kaeser Compressor, Inc

Applicant must submit 12 copies of all site plans, surveys, and supporting data with the final application before a planning board meeting can be scheduled.

Location of Project: 7162 North Central Ave, East Syracuse, NY 13057

Type of Project:

☐ Division of Land ☐ Subdivision ☐ Accessory Use ☐ Zone Change ☐ Site Review ☒ Other Special Use Permit

Developer: Kaeser Compressor, Inc

Phone: 315-400-9371

Address: 511 Sigma Drive, Fredericksburg, VA

Zip: 22408

Tax Map Number(#)/s: 054.-02-01.0

Present Zoning: Industrial (Special Use)

Desired Zoning: Same (New Owner)

Total Acreage: 1.98

Total Number of Lots: 1

Property Owner/s: Jim & Mark Realty, LLC

Phone: 315-813-5066

Address: 7162 North Central Ave, East Syracuse, NY

Zip: 13057

Tax Map#(s): 054.-02-01.0

Owner's Signature: _____

Printed Name: Jim Gilkey

Property Owner/s: _____

Phone: _____

Address: _____

Zip: _____

Tax Map#(s): _____

Owner's Signature: _____

Printed Name: _____

Use next page for additional known property owners' information

Planning Board Meeting Date Assignment: _____

Fee: _____

Paid: _____

Per: ☐ Credit/Debit Card ☐ Check ☐ Cash

Planning Board - Initial

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information: The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: New owner application for special use permit			
Project Location (describe, and attach a location map): 7162 North Central Ave, East Syracuse, NY 13057			
Brief Description of Proposed Action: Sales and service of air compressors, blowers and compressed air system components with general office, warehouse, shipping, and receiving.			
Name of Applicant or Sponsor: Jamison Vincent		Telephone: 315-400-9371 E-Mail: jamison.vincent@kaeser.com	
Address: 224 Harrison St, Suite 208, Office 15			
City/PO: Syracuse		State: NY	Zip Code: 13202
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO ☒	YES ☐
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO ☒	YES ☐
3.a. Total acreage of the site of the proposed action?		1.98 acres	
b. Total acreage to be physically disturbed?		0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. ☐ Urban ☐ Rural (non-agriculture) ☒ Industrial ☐ Commercial ☒ Residential (suburban) ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____ ☐ Parkland			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____	NO	YES
☒	☐	☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____	NO	YES
☒	☐	☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____	NO	YES
☒	☐	☐
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>Jamison Vincent</u> Date: <u>8/5/22</u> Signature: _____		

STOP

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	☐	☐
2. Will the proposed action result in a change in the use or intensity of use of land?	☐	☐
3. Will the proposed action impair the character or quality of the existing community?	☐	☐
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	☐	☐
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	☐	☐
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	☐	☐
7. Will the proposed action impact existing:	☐	☐
a. public / private water supplies?	☐	☐
b. public / private wastewater treatment utilities?	☐	☐
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	☐	☐
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	☐	☐

TOWN OF MANLIUS

DISCLOSURE AFFIDAVIT

This affidavit is a part of and must be completed and attached to every application, petition, request submitted for a *site plan, variance, amendment, change of zoning, approval of a plat, exemption from a plat or official map, license or permit.*

STATE OF VIRGINIA. }
COUNTY OF SPOTSYLANIA. } SS

I. Frank R. Mueller, being duly sworn, deposes and says that (s) he is:

Corporate Officer - President
(applicant, petitioner, corporation officer, property owner, *etc.*)

II. That deponent has read and is familiar with the provisions of the General Municipal Law, Section 809 which states:

- A. Every application, petition or request submitted for a site plan, variance, amendment, change of zoning, approval of a plat, exemption from a plat or official map, license or permit, pursuant to the provisions or any ordinance, local law, rule or regulation constituting the zoning and planning regulations of a municipality shall state the name, residence and the nature and extent of the interest of any state officer or any officer or employee of such municipality is a part, in the person, partnership or association making such application, petition or request (hereinafter called the applicant) to the extent known to such applicant.
- B. For the purpose of this action an officer or employee shall be deemed to have an interest in the applicant when (s)he, his/herspouse, or their brothers, sisters, parents, children, grandchildren, or the spouse of any of them:
 - 1) is the applicant, or
 - 2) is an officer, director, partner or employee of the applicant, or
 - 3) legally or beneficially owns or controls stock of a corporate applicant or is a member of a partnership or association applicant, or
 - 4) is a party to an agreement with such an applicant, express or implied, whereby (s) he may receive any payment or other benefit, whether or not for services rendered, or contingent upon the favorable approval of such application, petition or request.
- C. Ownership of less than five percent (5%) of the stock of a corporation whose stock is listed on the New York or American Stock Exchanges shall not constitute an interest for the purposes of this section.
- D. A person who knowingly and intentionally violates this section shall be guilty of a misdemeanor.

CORPORATE ACKNOWLEDGEMENT

STATE OF VIRGINIA)
) SS
COUNTY OF SPOTSYLVANIA)

Frank R. Mueller, being duly sworn, deposes and says the
s(he) is the Corporate Officer of Kaeser Compressors, Inc.
corporation named in the within Application/Petition, that s(he) has read the foregoing affidavit and
knows the contents thereof; that the same is true of s(he) own knowledge, except as to those matters
therein stated to be alleged upon information and belief, and as to those matters s(he) believes it to be
true.


Applicant Signature

Subscribed to me before this day
Of August 10, 2022


Notary Public

Lisa Ann Wightman
NOTARY PUBLIC
Commonwealth of Virginia
Reg. # 7753271
My Commission Expires 1/1/2025

Lisa Ann Wightman
NOTARY PUBLIC
Commonwealth of Virginia
Reg. # 7753271
My Commission Expires 1/1/2025

**TOWN OF MANLIUS
SPECIAL PERMIT APPLICATION
(Original or Renewal)**

DATE: 08/05/2022

Tax Map # 054.-02-01.0

I Frank R. Mueller as applicant relative to property located
at 7162 Central Ave, East Syracuse, NY 13116

hereby request/apply for issuance/renewal (CIRCLE ONE) of a **SPECIAL PERMIT** from the Town of Manlius Town Board as required by the Town of Manlius Code, submit the following application and documentary evidence and/or information, including comprising the Exhibits in support of this request and certify that it is correct, true and accurate to the best of my/our knowledge and after reasonable due diligence and investigation. I further knowledge and agree that should any such evidence or information be later determined as false or not credible in any material respect, any special permit issued/renewed based thereon may be determined by the Town Board as void from the start or revocable.

Applicant's Signature

A 1. Owner(s) of property: Jim & Mark Realty, LLC

A 2. Status (Owner, Lessee) of each applicant: potential buyer of property

A 3. Present Zoning of Property: Industrial (Special Use)

A.4. Present Use of Property (describe in detail as best as reasonably possible- add additional pages as needed): Glass shop for light fabrication of window/aluminum frames.
Office to complete business.

A5Describe property condition at present: Finished front office constructed of precast concrete.
Back building wood frame pole barn with metal siding.

B 1. Proposed use of property: Office for sales and service administration. Back building
for storage of maintenance and repair parts. Some limited testing of equipment.

B 2. Anticipated number of employees, guests, customers on property:
4-6 permanent employees working in and out of the office. No expected guests or customers.

B 3. Hours of Proposed Operation: 8am-5pm, Monday-Friday

B 4. Anticipated Automobile Parking: 4-6

B 5. Parking Area Buffer/Screening: N/A

B 6. Anticipated Vehicle Traffic Volume/Flow: 4-6 vehicles per day for permanent office staff. Occasional deliveries by lift-gate truck.

B 7. Proposed Site Lighting: Existing Soffit lighting

B 8. Anticipated noise sources, known decibel levels: Compressor testing inside building 76 dBa

B 9. Landscape:
a) Existing landscaping: Front finished walkway with plants

b) Proposed landscaping: No change

B 10. Proposed Signage: On building above door. Existing skin structure.

B 11. Level of municipal and other services required to support the proposed activity (i.e., water supply sanitary sewage facilities): Low level water use. Existing septic system.

B 12. Specific Requirements: Town Code (District) Requirement; Proposal:

Parking Spaces	<u>10</u>	<u>Existing</u>
Lot Coverage	<u>Existing</u>	<u>Existing</u>
Front Yard Setback	<u>Existing</u>	<u>Existing</u>
Side Yard Setback	<u>Existing</u>	<u>Existing</u>
Rear Yard Setback	<u>Existing</u>	<u>Existing</u>
Maximum Height of Building	<u>Existing</u>	<u>Existing</u>

EXHIBITS TO SPECIAL PERMIT APPLICATION:

1. Detailed site plan of any proposed construction anticipated (attach as Exhibit "A"). The Town Board requires that drawings be certified by the appropriate design professional, i.e. a licensed engineer, architect, or surveyor, and include, except as may be permitted at #10 below, at time of application such detail as required per Town Zoning Code §155-28A (1) (13) for site plan submission. N/A - No work
2. Survey Map (Exhibit "B") Certified by a licensed surveyor within two years of date of application. Survey should show all existing state of facts, improvements, structures, easements, rights-of-way, appropriations, landscape features, encroachments and existing pavement on site. Any survey map last re-dated prior to 60 days before the application filing date shall be accompanied by an affidavit from the applicant, owner or occupant, i.e. someone with personal knowledge, that the survey map accurately shows the state of facts of the survey map as of the date of the application filing or if it does not the affidavit should describe any change features. Per Doug Miller, existing survey attached
3. Legal description of proposed site (Exhibit "C"). The legal description must be in a form sufficient to follow the legal description on the survey map submitted. Included w/ application
4. Drainage, SWPPP if applicable, sanitary sewer, water service plans and specifications for proposed site (certified by a licensed professional engineer). Attach as Exhibit "D" and as applicable, numbered sub-exhibits e.g. "D-1", "D-2" etc. N/A - Existing
5. Environmental Assessment Form (Exhibit "E"). A short environmental assessment form (see attached form) may be provided with any application for an unlisted action, however acceptance of same shall not be deemed a waiver by the Town of its right to require a long EAF with appropriate documentary substantiation of answers provided (including without limitation #6 following). For Type One Actions a long EAF must be submitted at time of application. Short form included with application
6. Freshwater Wetlands Letter. Pursuant to 6 NYCRR 663.4(a), where the application involves conduct of regulated activity on freshwater wetlands or adjacent areas, the applicant must obtain either a permit or letter of permission from the DEC or the authorized local government having jurisdiction over the wetland. Any delineation such determination is based on shall likewise be provided. Attach as Exhibit "F" and as applicable, with numbered sub-exhibits. N/A
7. Professional Fees Reimbursement Agreement (Exhibit "G").
8. Disclosure Affidavit. The applicant shall submit an affidavit attesting it has reviewed General Municipal Law §809 and is familiar with the provisions contained therein, that no state officer, or any officer or employee of the County of Onondaga or Town of Manlius has any interest in the person, partnership or association owning the premises subject of the application or making such application, and that no other violation of §809 shall result from such application (Exhibit "H").

9. Filing and Professional Review Fees. At the time of application filing, applicant shall submit \$100.00 in the form of a check payable to the Town of Manlius for Special Permit filing or renewal fees. Site Plan filing and Professional Review fees must be paid per Town Code Fee Schedule prior to commencement of Planning Board advisory review.

10. NOTE: THE ABOVE ARE NOT INTENDED AS AN EXHAUSTIVE LISTING OF THE APPLICATION REQUIREMENTS. THE APPLICANT SHALL BE RESPONSIBLE FOR FAMILIARIZING ITSELF WITH ALL TOWN CODE ZONING, SITE PLAN REVIEW, AND SPECIAL PERMIT REQUIREMENTS, AND THE REQUIREMENTS OF OTHER INVOLVED AND PERMITTING AGENCIES INCLUDING RELATIVE TO SEQRA, GENERAL MUNICIPAL LAW SECTION 239 REVIEW, STATE/COUNTY DOT, DOH AND THE LIKE.

THE FOREGOING NOTWITHSTANDING IT IS ACKNOWLEDGED THAT UPON INITIAL APPLICATION CERTAIN OF THE ABOVE MAY NOT, WITHOUT INITIAL INPUT FROM THE TOWN BOARD OR PLANNING BOARD, BE REASONABLY CAPABLE OF FINAL COMPLETION, AND ACCORDINGLY MAY BE WAIVED OR SUCH REQUIREMENTS RELAXED TEMPORARILY AND UNTIL SUFFICIENT SPECIFIC DIRECTION FROM THE RESPECTIVE BOARDS HAS BEEN GIVEN. AT TIME OF SUBMISSION THE APPLICANT SHALL SPECIFICALLY REFERENCE ANY SUCH REQUEST(S) AND ITS REASON(S) FOR SAME IN A DETAILED ENCLOSURE LETTER DESCRIBING THE SUBMISSION AND EXHIBITS.

RENEWAL APPLICATIONS SHALL REQUIRE ONLY SUCH OF THE FOREGOING INFORMATION AND EXHIBITS AS ARE DEEMED NECESSARY FOR CONSIDERATION OF A RENEWAL PERMIT INVOLVING NO MATERIAL CHANGES FROM OR VIOLATIONS UNDER THE PRIOR ISSUED SPECIAL PERMIT.

APPLICATIONS SHALL BE SUBMITTED IN BOUND TABBED BOOKLET FORM WITH A COVER LETTER, TABLE OF CONTENTS REFERENCING EXHIBITS, AND LEGIBLE 11"by 17" MINIMUM DRAWINGS FOLDED TO LETTER SIZE THEREIN. TWENTY COPIES SHALL BE DELIVERED TOGETHER WITH SEVEN (7) FULL SIZE PRINTS OF ALL DRAWINGS. SUBSEQUENT SUBMISSIONS OF MINOR MODIFICATIONS MAY BE SUBMITTED IN THE SAME MANNER WITH A LETTER REFERENCING THE SPECIFICS OF THE SUBSTITUTION, HOWEVER IF NUMEROUS OR MATERIAL IN NATURE ENTIRE REPLACEMENT SUBMISSIONS MAY BE REQUESTED.

In addition, and notwithstanding any provisions hereof to the contrary or otherwise, any provisions of the Town Code or other laws, rules or regulations providing rights more favorable to and protective of Town shall be deemed incorporated herein by reference, and shall not be deemed superseded by less protective provisions herein.

In the event of a breach or default by Applicant, Town shall be entitled to pursue any and all legal rights and remedies pursuant to applicable law including, without limitation, the Town Code and shall be entitled to recover, in addition to any sums due, reasonable attorney's fees, costs and disbursements incurred in any such efforts.

If any part of this Agreement or the application thereof to any person or entity or circumstance is adjudged invalid, illegal or unconstitutional by any court of competent jurisdiction, such order or judgment shall be confined in its operation to the part of this law or in its application directly involved in the controversy in which such judgment shall have been rendered and shall not affect or impair the validity of the remainder of this Agreement or the application thereof to other persons, entities or circumstances. Further, in adjudging such invalid, illegal or unconstitutional provision or part thereof, the court shall attempt to modify same to a provision or part which is not illegal, invalid or unconstitutional and which best achieves the intent of such illegal, invalid or unconstitutional provision or part thereof.

The Town Supervisor has executed this agreement pursuant to a blanket Resolution adopted by the Town Board at a meeting thereof held on _____, 20__, and is duly authorized and empowered to execute this instrument and enter into this Agreement on behalf of the Town of Manlius.

In the event Applicant is a closely held corporation, partnership or limited liability company, its three (3) largest principals shall be signatories to this Agreement, as joint and severable parties with Applicant and Town.

This instrument shall be executed in triplicate. At least one original shall be permanently filed, after execution thereof, in the office of the Town Clerk and one in the Code Enforcement Office.

Dated: 8/10/22

Kaeser Compressors, Inc.
Print Applicant Name

F. Mueller Officer
Applicant's Authorized Signature/Title

Applicant Address: 511 Sigma Drive
Fredericksburg, VA 22408

Frank Mueller
Print Applicant (Principal) Name

F. Mueller
Applicant's Principal Signature

Print Applicant (Principal) Name

Applicant's Principal Signature

Print Applicant (Principal) Name

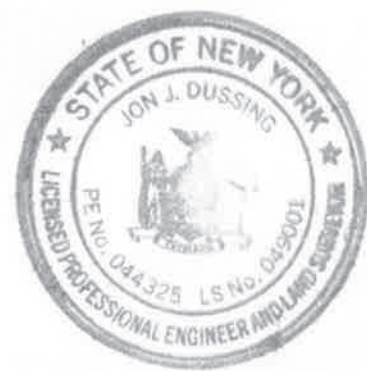
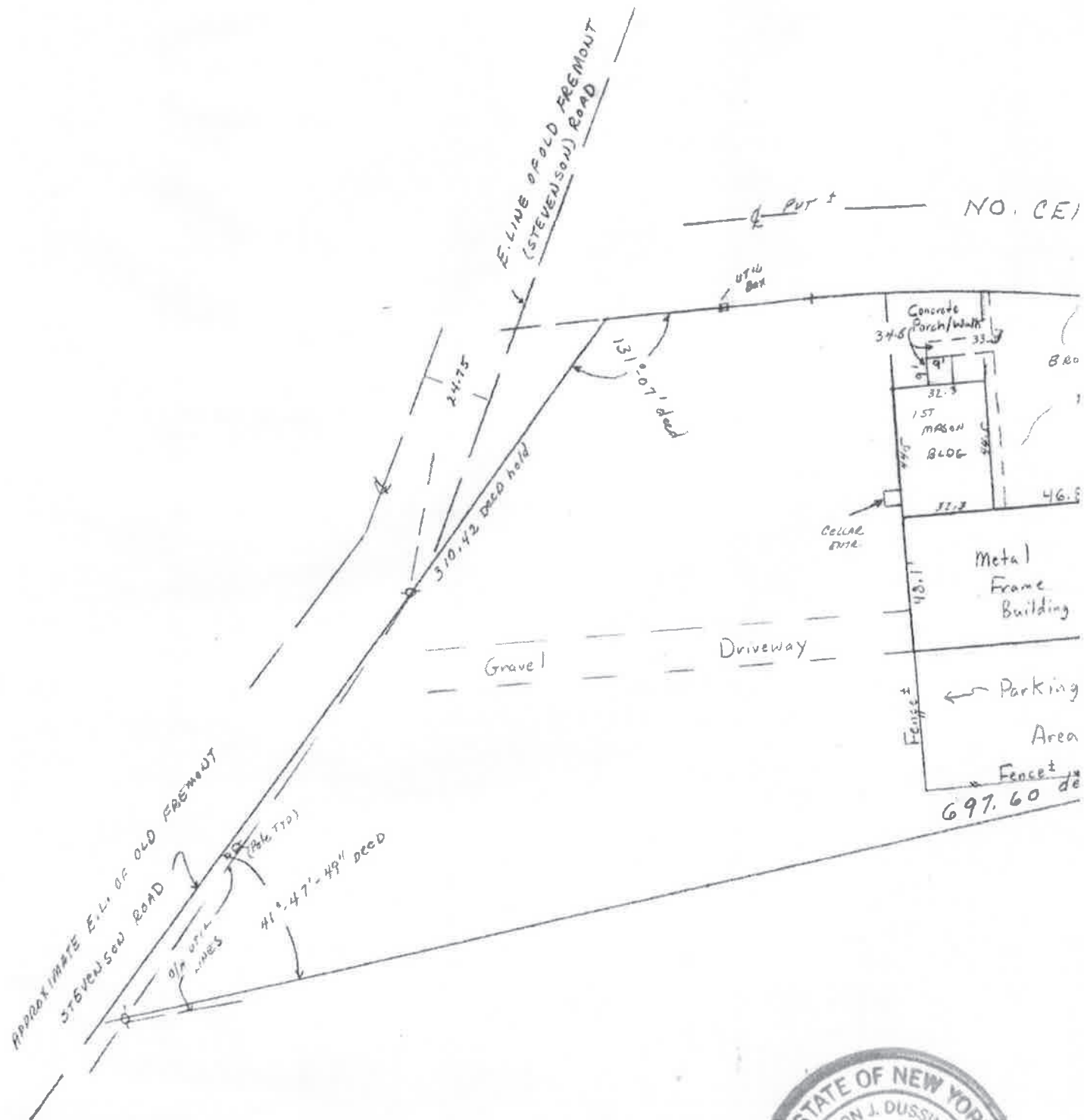
Applicant's Principal Signature

TOWN OF MANLIUS

By: _____

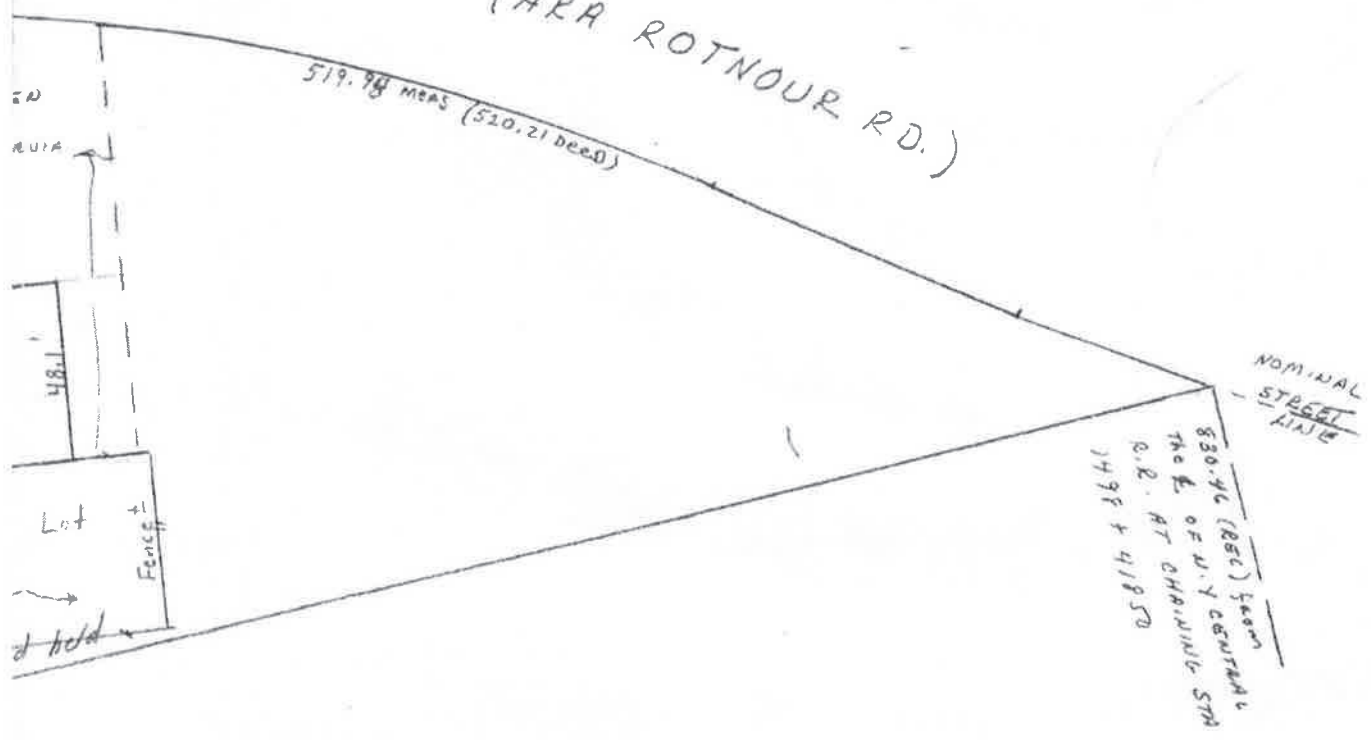
Name: _____

Title: _____



1.98 Acres

TRAL AVE (60' WIDE)
(AKA ROTNOUR RD.)



NO ABSTRACT PROVIDED AT TIME OF SURVEY
SUBJECT TO EASEMENTS, ROWS, RESTRICTIONS
& EXCEPTIONS OF RECORD WHICH AN UPDATED
ABSTRACT WOULD SHOW.

NOTE:

1. THE NORTH LINE OF THIS PARCEL HAS BEEN FIT 30 FEET SOUTHERLY OF THE CENTERLINE OF THE PHYSICAL PAVEMENT, WHILE THE WESTERLY LINE HAS BEEN FIT 24.75' EASTERLY OF THE CENTERLINE OF THE OLD ROADBED OVER WHICH A DEED PLOTTING OF BK 5591 PG 342 HAS BEEN POSITIONED
2. SURVEY BASED ON AUG. 16, 1995 MAP OF PROPERTY DONE BY COTTRELL LAND SURVEYORS P.C. USING THE SAME ASSUMPTIONS & INTERPRETATION AS DID COTTRELL SURVEYORS
3. SURVEY SHOWS UPDATED FEATURES SINCE 1995 SURVEY.

Rechecked & Recertified for Dussing 4/25/09

CERTIFIED TO		LOCATION SURVEY FOR 7162 NORTH CENTRAL AVENUE	
		LOT TRACT PART OF LOT 33	
PROPERTY CORNERS NOT SET THIS SURVEY UNLESS SHOWN. OFFSETS FROM PROPERTY LINES MEASURED TO FOUNDATION WALLS UNLESS OTHERWISE INDICATED. THE UNDERSIGNED HEREBY CERTIFIES THAT THIS IS A CORRECT MAP MADE FROM AN ACTUAL SURVEY.		CITY/TOWN MANLIUS	COUNTY ONONDAGA STATE N.Y.
 J. J. Dussing N.Y.S. LICENSED LAND SURVEYOR No. 49001		LICENSED LAND SURVEYOR	
		JON J. DUSSING SR.	
		SYRACUSE, NEW YORK	
		DATE	7-28-01
		SCALE	1"=50 FT
		FILE NO.	01-252

315-492-6441

Expected
Fee: _____

**TOWN OF MANLIUS
PLANNING DEPARTMENT
INITIAL APPEARANCE APPLICATION**

DATE: August 11, 2022

Name of Project: Electric Car Sales & Service

Applicant must submit 12 copies of all site plans, surveys, and supporting data with the final application before a planning board meeting can be scheduled.

Location of Project: 5427 North Burdick Road

Type of Project:

☐ Division of Land ☐ Subdivision ☐ Accessory Use ☐ Zone Change ☒ Site Review ☐ Other _____

Developer: KDP Manlius NY, LLC

Phone: (312) 379-5109

Address: 449 N. Clark St Suite 400, Chicago, IL 60654

Zip: _____

Tax Map Number(s): 086.0-1-4.2, 086.0-1-4.3

Present Zoning: C-B Commercial Dist. B

Desired Zoning: C-B Commercial Dist. B

Total Acreage: 4.06 Ac

Total Number of Lots: 2

Property Owner/s: Luke Living Trust

Phone: 315 662-3676

Address: 3584 North Lake Rd., Erieville NY

Zip: 13061

Tax Map(s): 086.0-1-4.2, 086.0-1-4.3

Owner's Signature: _____

Printed Name: _____

William F. Luke - Trustee
Marlene S. Luke - Trustee

Property Owner/s: Douglas R Burns

Phone: 315 637-5483

Address: 5268 Hoag Lane, Fayetteville NY

Zip: 13066

Tax Map(s): 086.0-1-4.2

Owner's Signature: _____

Printed Name: _____

Douglas R Burns

See next page - add'l owner - Use next page for additional known property owners' information

Planning Board Meeting Date Assignment: _____

Fee: _____

Paid: _____

Pay: ☐ Credit/Debit Card ☐ Check ☐ Cash

Planning Board - Initial _____

TOWN OF MANLIUS
PLANNING DEPARTMENT
INITIAL APPEARANCE APPLICATION
(continued)

Property Owner/s: Robert C Ryan Phone: 315 559 2701
Address: 205 W. Franklin St Fayetteville NY Zip: 13066
Tax Map#(s): 086.0-1-4.2 Owner's Signature: Robert C Ryan
086.0-1-4.3 Printed Name: Robert C Ryan

Property Owner/s: _____ Phone: _____
Address: _____ Zip: _____
Tax Map#(s): _____ Owner's Signature: _____
Printed Name: _____

Property Owner/s: _____ Phone: _____
Address: _____ Zip: _____
Tax Map#(s): _____ Owner's Signature: _____
Printed Name: _____

Property Owner/s: _____ Phone: _____
Address: _____ Zip: _____
Tax Map#(s): _____ Owner's Signature: _____
Printed Name: _____

Property Owner/s: _____ Phone: _____
Address: _____ Zip: _____
Tax Map#(s): _____ Owner's Signature: _____
Printed Name: _____

Property Owner/s: _____ Phone: _____
Address: _____ Zip: _____
Tax Map#(s): _____ Owner's Signature: _____
Printed Name: _____

TOWN OF MANLIUS

DISCLOSURE AFFIDAVIT

This affidavit is a part of and must be completed and attached to every application, petition, request submitted for a *site plan, variance, amendment, change of zoning, approval of a plat, exemption from a plat or official map, license or permit.*

STATE OF NEW YORK)
) SS:
COUNTY OF ONONDAGA)

I. Steve Pineda of RDP Manlius NY LLC being duly sworn, deposes and says that (s) he is:

applicant & petitioner
(applicant, petitioner, corporation officer, property owner, etc.)

II. That deponent has read and is familiar with the provisions of the General Municipal Law, Section 809 which states:

- A. Every application, petition or request submitted for a site plan, variance, amendment, change of zoning, approval of a plat, exemption from a plat or official map, license or permit, pursuant to the provisions or any ordinance, local law, rule or regulation constituting the zoning and planning regulations of a municipality shall state the name, residence and the nature and extent of the interest of any state officer or any officer or employee of such municipality is a part, in the person, partnership or association making such application, petition or request (hereinafter called the applicant) to the extent known to such applicant.
- B. For the purpose of this action an officer or employee shall be deemed to have an interest in the applicant when (s)he, his/her spouse, or their brothers, sisters, parents, children, grandchildren, or the spouse of any of them:
- 1) is the applicant, or
 - 2) is an officer, director, partner or employee of the applicant, or
 - 3) legally or beneficially owns or controls stock of a corporate applicant or is a member of a partnership or association applicant, or
 - 4) is a party to an agreement with such an applicant, express or implied, whereby (s) he may receive any payment or other benefit, whether or not for services rendered, or contingent upon the favorable approval of such application, petition or request.
- C. Ownership of less than five percent (5%) of the stock of a corporation whose stock is listed on the New York or American Stock Exchanges shall not constitute an interest for the purposes of this section.
- D. A person who knowingly and intentionally violates this section shall be guilty of a misdemeanor.

III. That no Town of Manlius officer, employee or a relative of either, as defined in Section 809 General Municipal Law has any interest in this application.

-OR-

If a Town of Manlius officer, employee or relative of either as defined in Section 809 General Municipal law has any interest in this application, the full particulars are provided on an attached sheet.

Date: Aug 8, 20 22

Date: _____, 20 _____

(Print Name)

(Print Name)

(Signature)

(Signature)

(Entity Name)

(Entity Name)

By (Officer)

(Title)

By (Officer)

(Title)

(Mailing Address of Applicant)

(Mailing Address of Applicant)

(Telephone Number)

(Telephone Number)

ACKNOWLEDGEMENTS

Illinois
STATE OF ~~NEW YORK~~)

Cook) SS:

COUNTY OF ~~ONONDAGA~~)

On this 9th day of August in the year 20 22, before me, the undersigned, a notary public in and for said state, personally appeared Steve Panko,

and _____ personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within Petition and acknowledged to me the he/she/they executed the same in his/her/their capacity, and that by his/her/their signature(s) on the Petition, the individual or the persons upon behalf of which the individual acted executed the instrument.

Bharat Kavuri
Notary Public

BHARAT KAVURI
Official Seal
Notary Public - State of Illinois
My Commission Expires Oct 16, 2022

CORPORATE ACKNOWLEDGEMENT

Illinois
STATE OF ~~NEW YORK~~)

Cook) SS:

COUNTY OF ~~ONONDAGA~~)

Steve Panko, being duly sworn, deposes and says the
s(he) is the Manager of KDP Martins NY LLC
corporation named in the within Application/Petition, that s(he) has read the foregoing affidavit and
knows the contents thereof; that the same is true of s(he) own knowledge, except as to those matters
therein stated to be alleged upon information and belief, and as to those matters s(he) believes it to be
true.

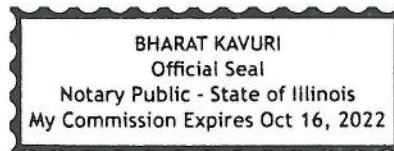

Applicant Signature

Subscribed to me before this day

Of August, 20 22



Notary Public



Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

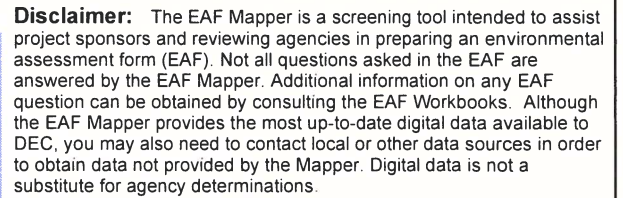
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

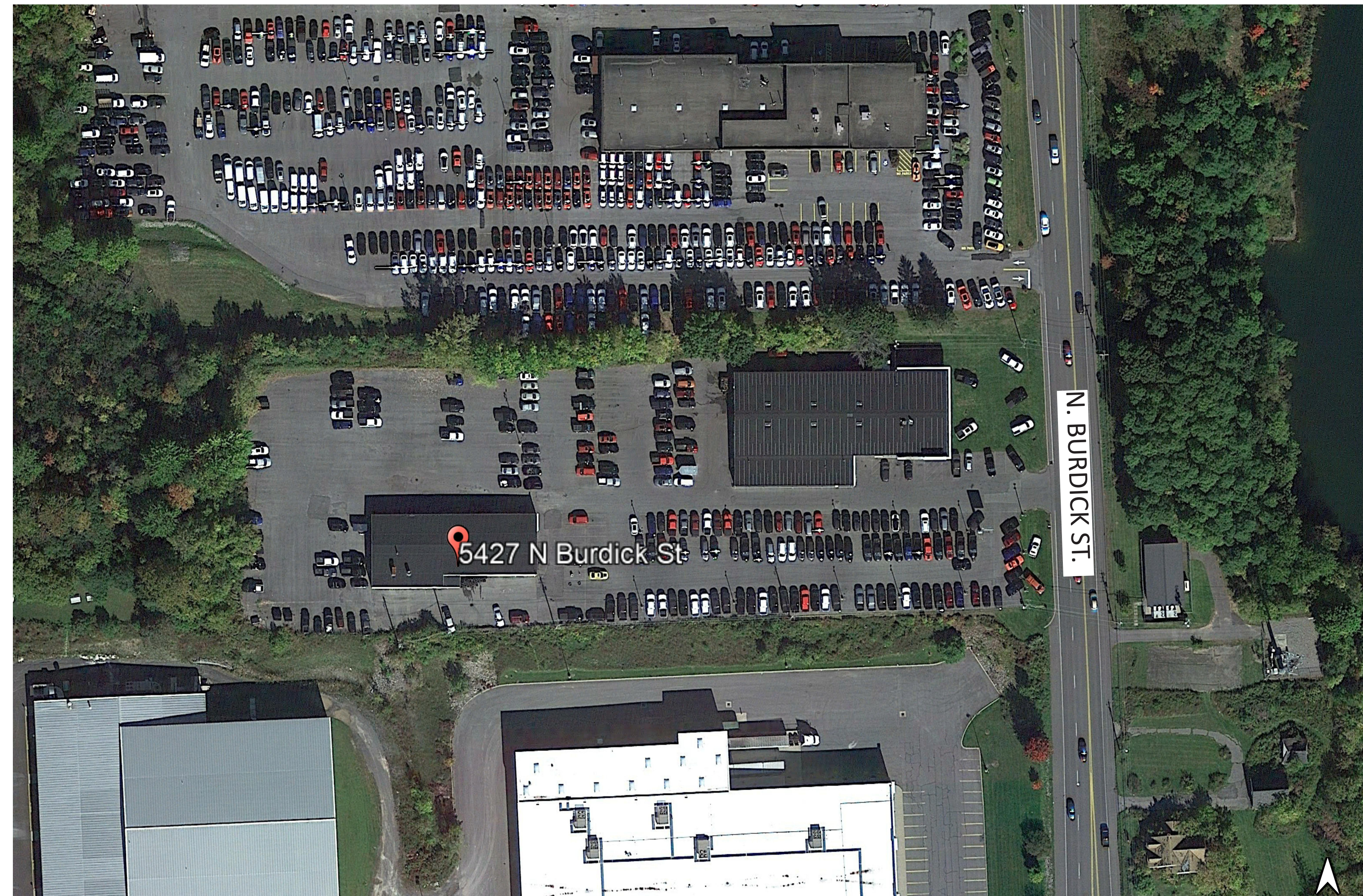
Part 1 – Project and Sponsor Information			
Name of Action or Project: Electric Car Sales & Service			
Project Location (describe, and attach a location map): 5427 North Burdick Street			
Brief Description of Proposed Action: The proposed action consists of the renovation of two existing commercial buildings, the construction of a 16,500+/- addition, upgrades to existing water, gas and electric services, and the resurfacing of the existing asphalt pavement.			
Name of Applicant or Sponsor: KDP Manlius NY, LLC		Telephone: 315-379-5109	
Address: 449 N. Clark St. Suite 400		E-Mail:	
City/PO: Chicago		State: IL	Zip Code: 60654
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO ☒	YES ☐
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: OCWA, OCDOH, Town of Manlius Engineering/DPW		NO ☐	YES ☒
3. a. Total acreage of the site of the proposed action?		4.08 acres	
b. Total acreage to be physically disturbed?		+/-0.76 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		4.08 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. ☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☒ Commercial ☐ Residential (suburban)			
☒ Forest ☐ Agriculture ☒ Aquatic ☐ Other(Specify):			
☐ Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO ☐ ☐	YES ☒ ☒	N/A ☐ ☐
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO ☐	YES ☒	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO ☒	YES ☐	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO ☒ ☐ ☒	YES ☐ ☒ ☐	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO ☐	YES ☒	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO ☐	YES ☒	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO ☐	YES ☒	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO ☒ ☒	YES ☐ ☐	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO ☐ ☒	YES ☒ ☐	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: ☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional ☐ Wetland ☒ Urban ☐ Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Northern Long-eared Bat	NO	YES
	☐	☒
16. Is the project site located in the 100-year flood plan?	NO	YES
	☒	☐
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	☒	☐
a. Will storm water discharges flow to adjacent properties?	☐	☒
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	☐	☒
Proposed action will not affect existing stormwater drainage areas or flowpaths; drainage will either enter the right-of-way through existing stormwater infrastructure or sheet flow to stabilized slopes south of the site.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	☒	☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	☒	☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	☒	☐
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>KDP Manlius NY LLC / Chris Sotos</u> Date: <u>August 9, 2022</u>		
Signature: <u>Chris Sotos</u> Title: <u>Manager</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



GOOGLE EARTH



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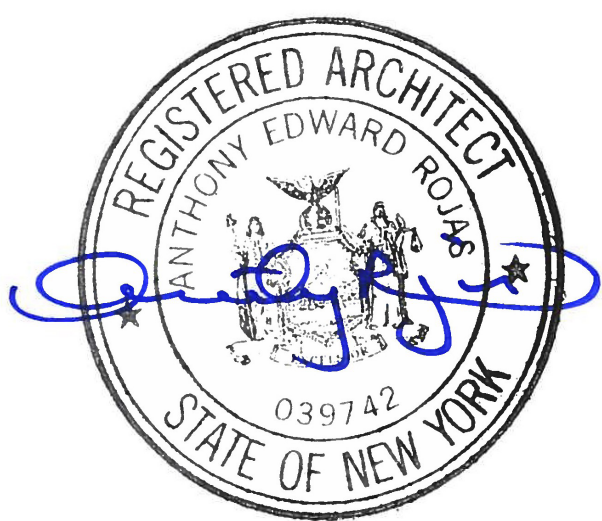
ELECTRIC CAR SALES AND SERVICE CENTER
5427 N. BURDICK ST.
MANLIUS, NEW YORK

PLANNING BOARD SUBMISSION

08/11/2022
PROJECT # 22048



EXTERIOR PERSPECTIVE



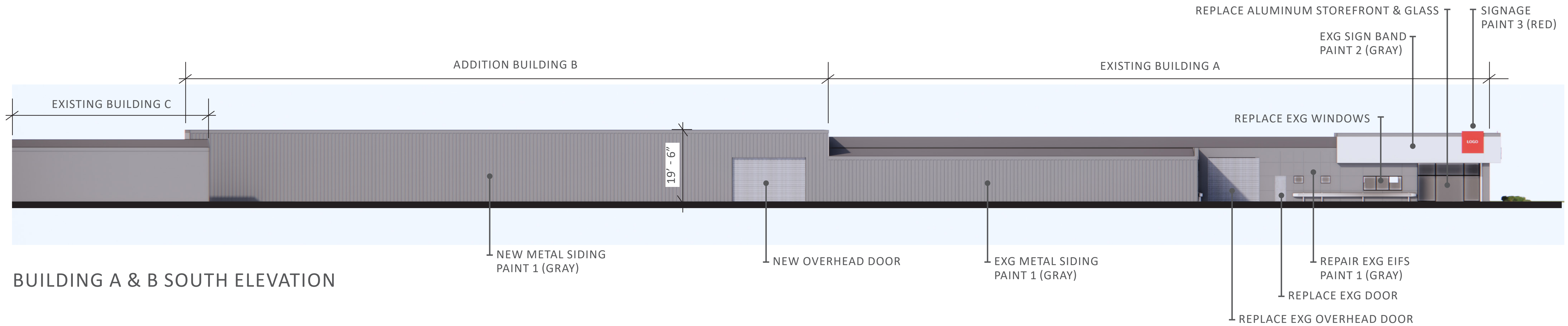
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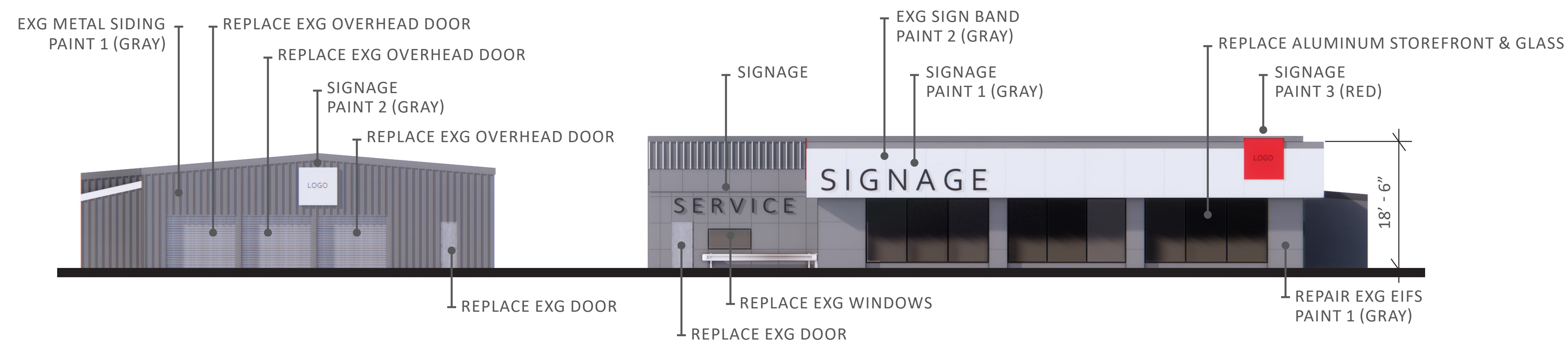
ELECTRIC CAR SALES AND SERVICE CENTER
5427 N. BURDICK ST.
MANLIUS, NEW YORK

DATE: 08/11/2022
SCALE: N.T.S.
SHEET NAME: EXTERIOR PERSPECTIVE
SHEET NUMBER: A1





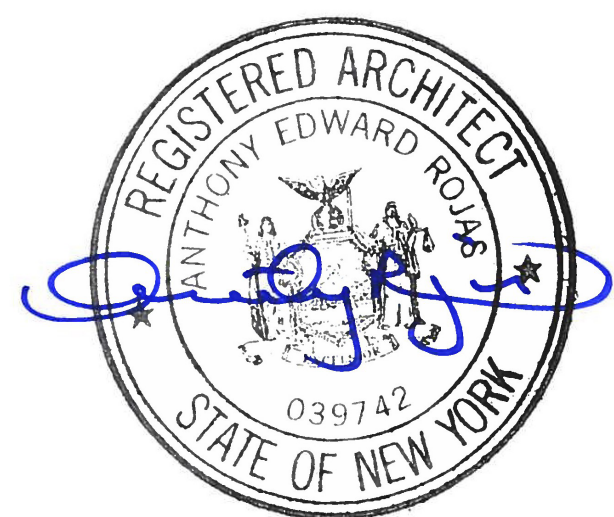
BUILDING A & B SOUTH ELEVATION



BUILDING A & C EAST ELEVATION

COLOR LEGEND

- PAINT 1 (GRAY) - BENJAMIN MOORE
2124-20 - TROUT GRAY
- PAINT 2 (GRAY) - BENJAMIN MOORE
2124-50 - BUNNY GRAY
- PAINT 3 (RED) - BENJAMIN MOORE
2087-10 - NEON RED



BUILDING A
EXISTING PHOTO SOUTH



BUILDING A
EXISTING PHOTO EAST



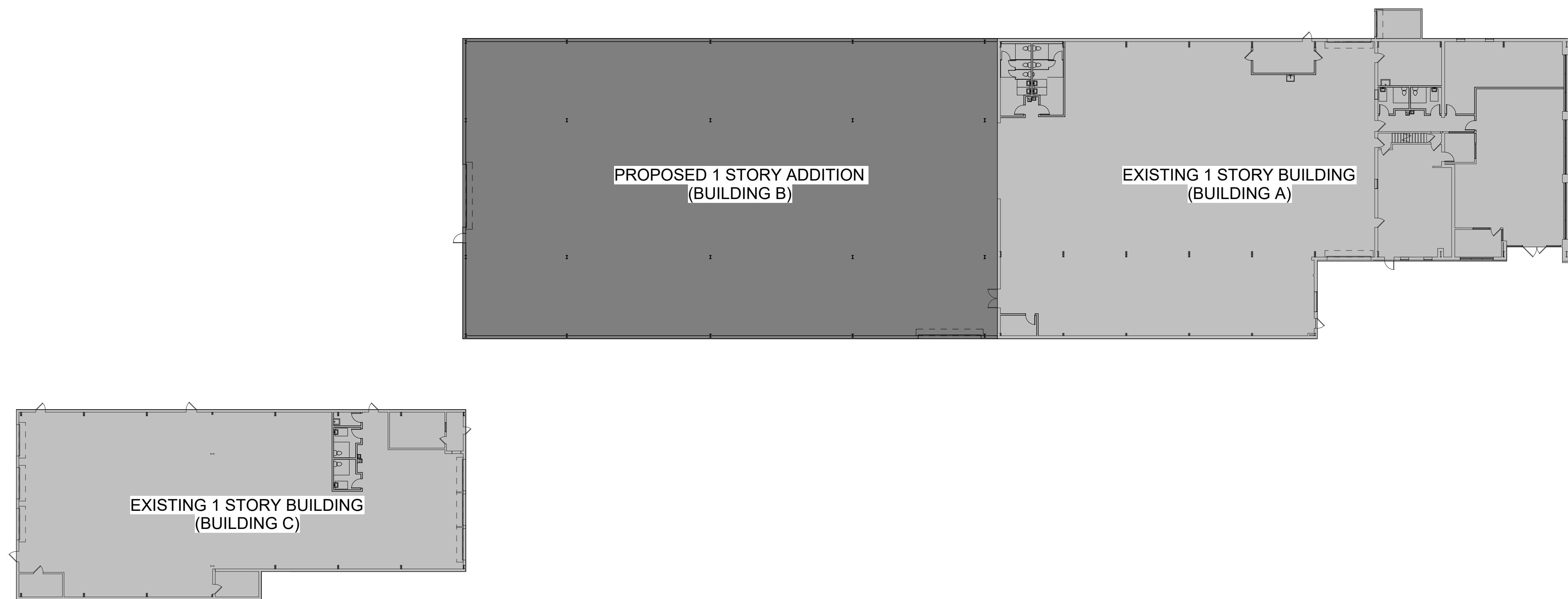
BUILDING C
EXISTING PHOTO EAST

ELECTRIC CAR SALES AND SERVICE CENTER
5427 N. BURDICK ST.
MANLIUS, NEW YORK

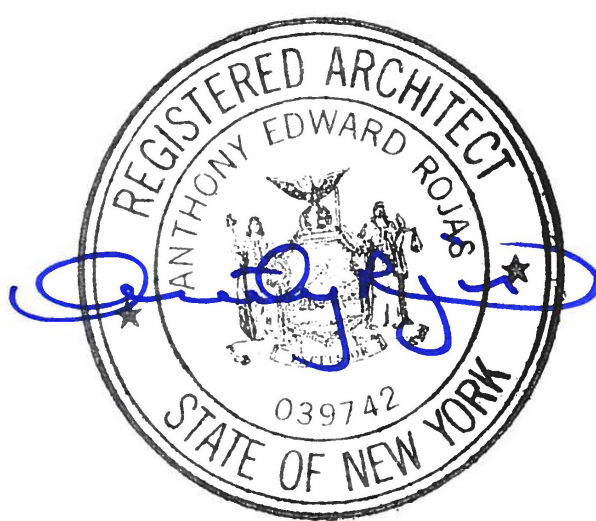
DATE: 08/11/2022
SCALE: N.T.S.
SHEET NAME: EXTERIOR ELEVATIONS
SHEET NUMBER: A2



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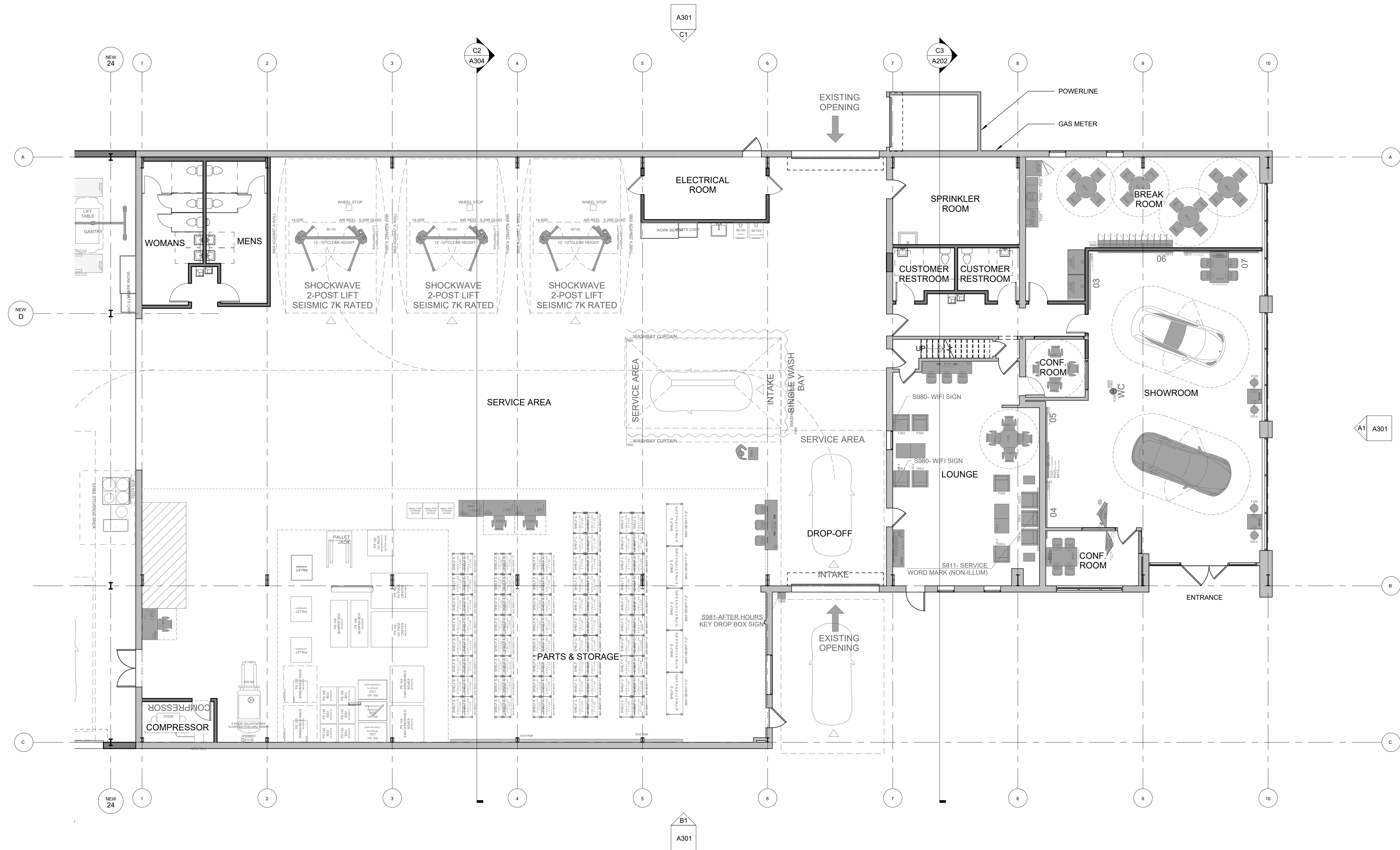


OVERALL FLOOR PLAN

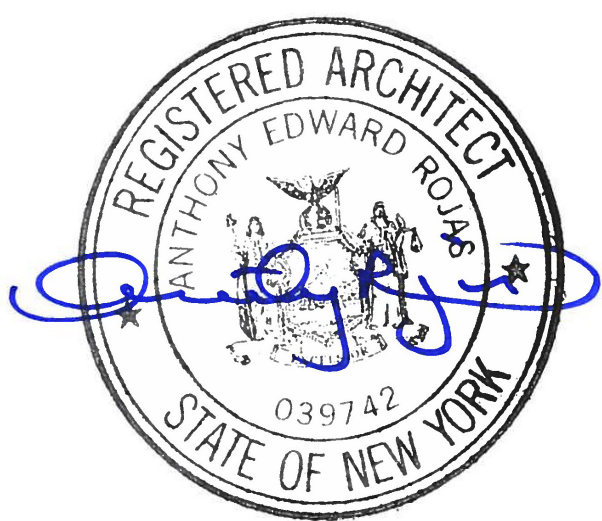


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5427 N. BURDICK ST.
MANLIUS, NEW YORK

DATE: 08/11/2022
SCALE: N.T.S.
SHEET NAME: OVERALL FLOOR PLAN
SHEET NUMBER: A3



BUILDING A FLOOR PLAN

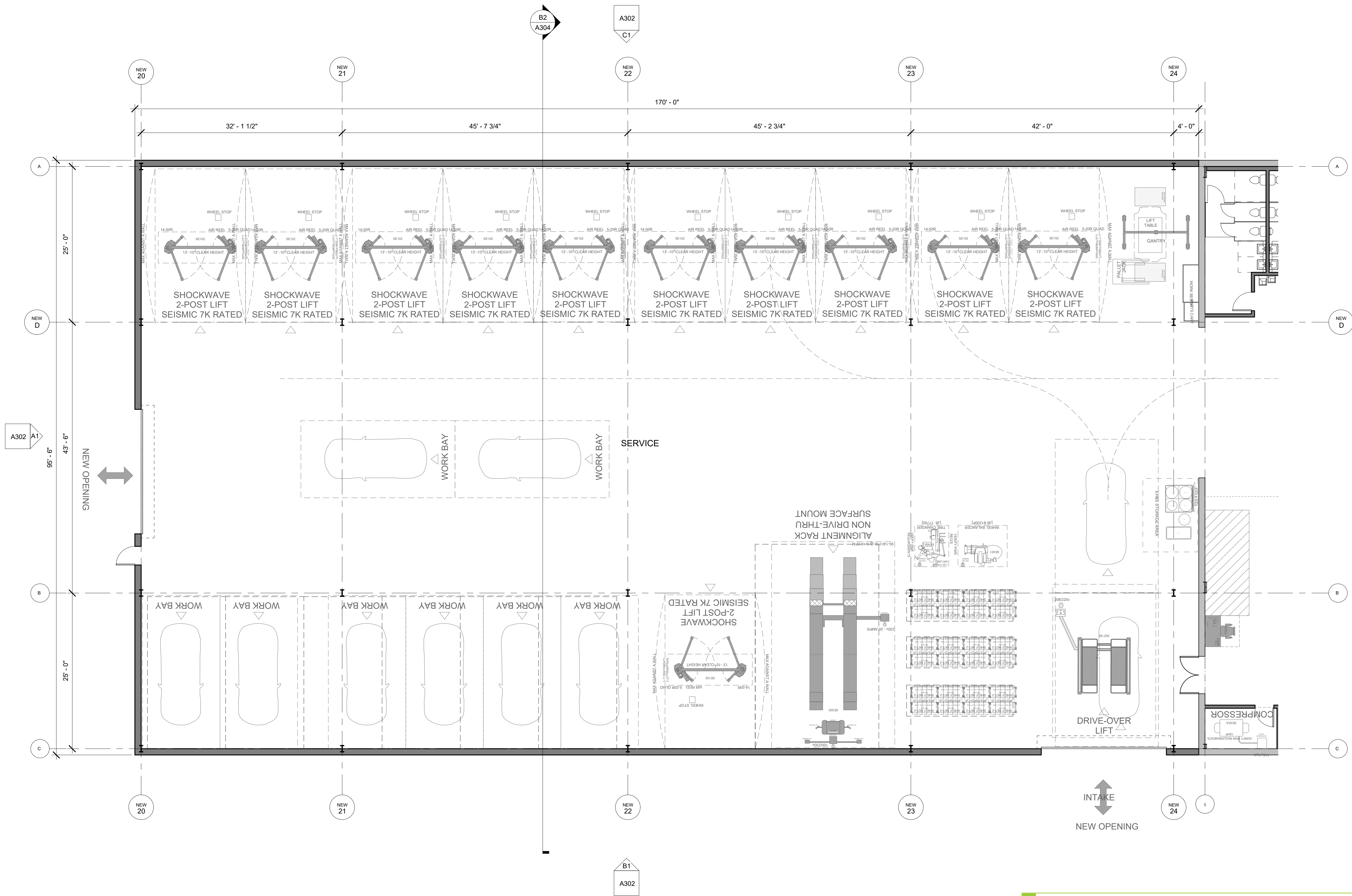


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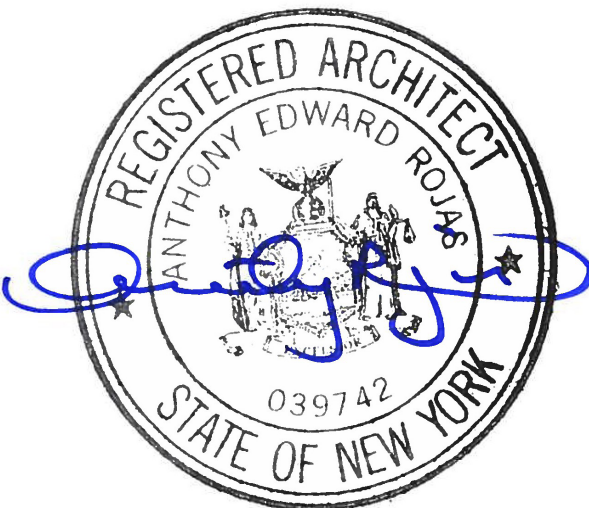
DATE: 08/11/2022
SCALE: N.T.S.
SHEET NAME: BUILDING A FLOOR PLAN
SHEET NUMBER: A4



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BUILDING B FLOOR PLAN



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MANLIUS, NEW YORK

DATE: 08/11/2022
SCALE: N.T.S.
SHEET NAME: BUILDING B FLOOR PLAN
SHEET NUMBER: A5



Layout Title Name: C-000 COVER SHEET
Last Saved By: JacobsJ, 8/10/2022 7:45:59 AM
C:\Users\jacobsj\Documents\Tessa_Manlius\Cadd\Cd\COVER.dwg Plotted By: Jacobs, Joe Plotted August 10, 2022, 11:28:27 AM

KDP MANLIUS NY, LLC

5427 N. BURDICK ST.

ELECTRIC CAR SALES AND SERVICE CENTER

TOWN OF MANLIUS, NEW YORK

XXXXXX

8/11/22

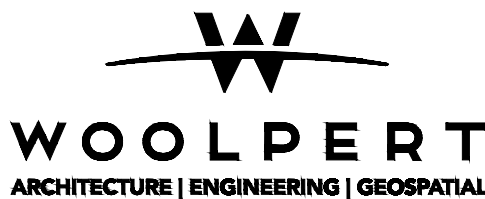
PROJECT TEAM



239 E. Water Street - 2nd Fl.
Syracuse, New York 13202
www.in-ARCHITECTS.com



200 Boss Road
Syracuse, New York 13211



4900 O'Hear Avenue
Suite 202
North Charleston, SC 29405
843.216.0401

CONTACTS:

CLIENT
KDP MANLIUS NY, LLC
449 NORTH CLARK STREET, SUITE 400
CHICAGO, IL 60654
CHRIS SOTOS / STEVE PANKO
312.379.5109
CSOTOS@KDP-LLC.COM / SPANKO@KDP-LLC.COM

ARCHITECT
in ARCHITECTS
239 E. WATER STREET, 2nd Floor
SYRACUSE, NY 13202
ANTHONY E. ROJAS, AIA
315.728.9458
AROJAS@IN-ARCHITECTS.COM

MECHANICAL ELECTRICAL & PLUMBING ENGINEER
ARGUS ENGINEERING, PLLC
200 BOSS ROAD
SYRACUSE, NY 13211
JON GUIBOND, PE
315.475.6061
JGUISBOND@ARGUSENGINEERING.COM

CIVIL ENGINEER
WOOLPERT
4900 O'HEAR AVENUE, SUITE 202
NORTH CHARLESTON, SC 29405
RAY NIX, PE
843.972.4596
RAY.NIX@WOOLPERT.COM

WATER
ONONDAGA COUNTY WATER AUTHORITY
200 NORTHERN CONCOURSE
SYRACUSE, NY 13212
315.455.7061

ELECTRIC & GAS
NATIONAL GRID

SANITARY
ONONDAGA COUNTY DEPARTMENT OF
WATER ENVIRONMENT PROTECTION (WEP)
650 HAWAIIA BOULEVARD WEST
SYRACUSE, NY 13204
315.435.2260

STORMWATER
TOWN OF MANLIUS
5970 CLEMONS ROAD
MINOA, NY 13116
315.696.3090

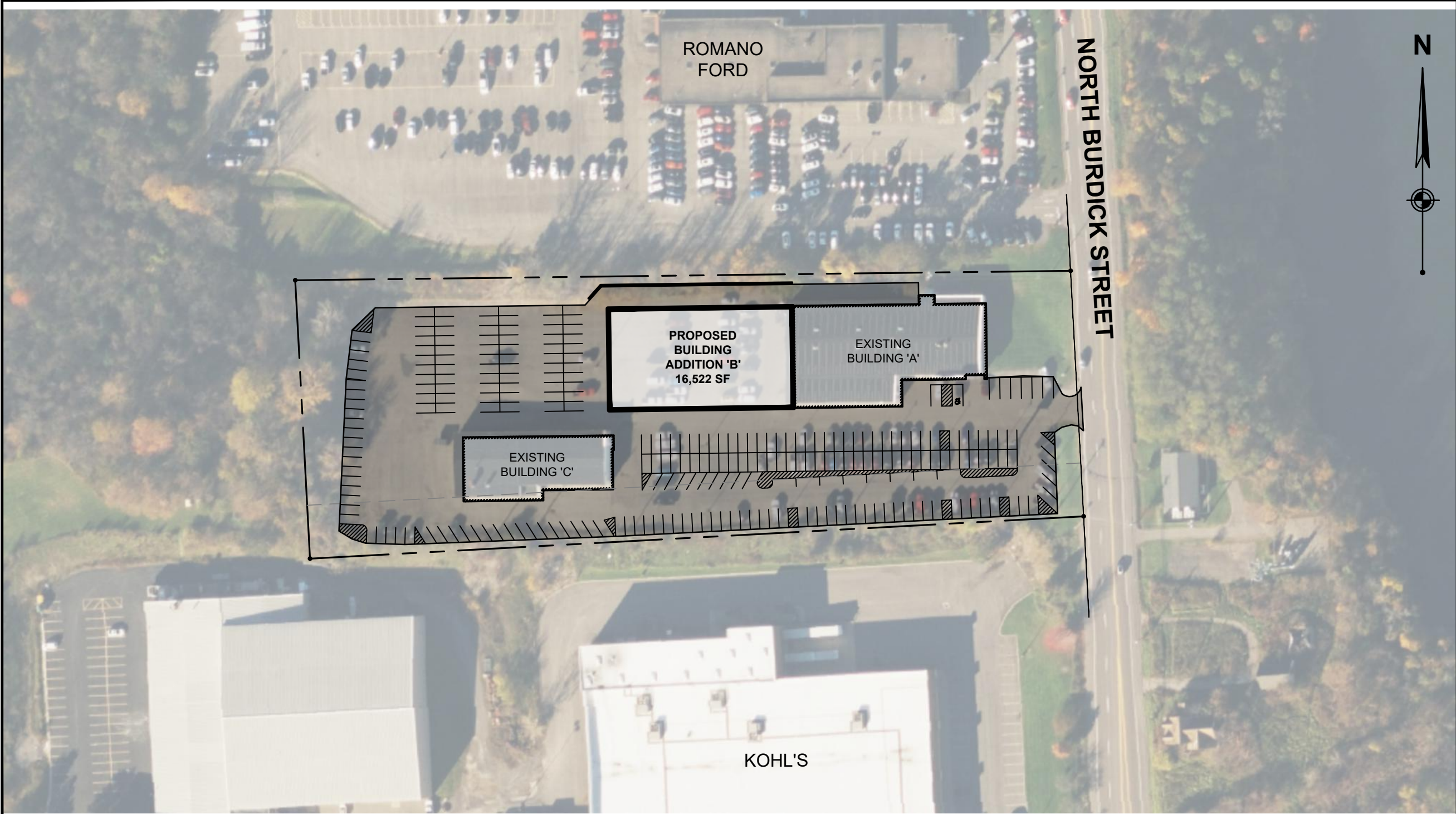
VICINITY MAP

NOT TO SCALE



SITE PLAN

1" = 100'



SHEET INDEX

SHEET INDEX	Sheet Title
Sheet Number	COVER SHEET
C-000	GENERAL NOTES
C-001	EXISTING CONDITIONS & DEMOLITION PLAN
C-100	SITE PLAN
C-200	GRADING & EROSION CONTROL PLAN
C-300	UTILITY PLAN
C-400	DETAILS
C-800	

ISSUANCE SCHEDULE	DESCRIPTION
NUMBER	DATE

KDP MANLIUS NY, LLC

5427 N. BURDICK ST.

ELECTRIC CAR SALES AND SERVICE CENTER

TOWN OF MANLIUS, NEW YORK

PROJECT NO: XXXXXX

DATE ISSUED: 8/11/22

SHEET NAME:

COVER SHEET

SHEET NO:

C-000

GENERAL NOTES

1.
- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER/CONSTRUCTION MANAGER IMMEDIATELY.
2.
- EXISTING SITE INFORMATION AND TOPOGRAPHIC SURVEY WAS PREPARED BY CHAPIN LAND SURVEYORS, DATED JUNE 16, 2022. ANY SITE CHANGES/MODIFICATIONS MADE AFTER THIS SURVEY ARE NOT REFLECTED IN THESE PLANS. CONTRACTOR TO NOTIFY WOOLPERT, INC. OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION. ITEMS INDICATED AS PER RECORDS AND OUTSIDE THE SURVEY LIMITS ARE BASED ON VARIOUS RECORD DRAWINGS PROVIDED BY THE OWNER. WOOLPERT IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.
3.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES (INCLUDING THOSE LABELED PER RECORDS) PRIOR TO THE BEGINNING OF CONSTRUCTION OR EARTH MOVING OPERATIONS. INFORM ARCHITECT/ENGINEER/CONSTRUCTION MANAGER OF ANY CONFLICTS DETRIMENTAL TO THE DESIGN INTENT.
4.
- 48 HOURS PRIOR TO COMMENCEMENT OF DIGGING, CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES: THE UDIG NY UTILITY PROTECTION SERVICES 811, AND ALL OTHER AGENCIES THAT MAY HAVE UNDERGROUND UTILITIES WITHIN THE PROJECT LIMITS AND ARE NON-MEMBERS OF UDIG NY UNDERGROUND PROTECTION SERVICES.
5.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.
6.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND OWNER'S REPRESENTATIVE FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
7.
- CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL REGULATIONS.
8.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, OBTAIN ALL APPLICABLE PERMITS, AND PAY ALL REQUIRED FEES PRIOR TO COMMENCING WORK.
9.
- ANY WORK PERFORMED IN THE TOWN OR COUNTY RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH THE APPLICABLE TOWN OR COUNTY REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE NECESSARY PERMITS FOR THE WORK, SCHEDULE NECESSARY INSPECTIONS, AND PROVIDE THE NECESSARY TRAFFIC CONTROL MEASURES AND DEVICES, ETC., FOR WORK PERFORMED IN THE RIGHT OF WAYS.
10.
- CONTRACTOR SHALL IMPLEMENT ALL SOIL AND EROSION CONTROL, PRACTICES REQUIRED BY THE TOWN OF MANLIUS AND THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL PROTECTIONS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (BLUE BOOK).
11.
- ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH SPECIFICATIONS. IF NO SPECIFICATIONS ARE SUPPLIED, USE NYSDOT SPECIFICATION FOR TURF ESTABLISHMENT.
12.
- ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE LATEST REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT.
13.
- THE CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
14.
- BEFORE INSTALLATION OF STORM SEWER, SANITARY SEWER, ELECTRICAL CONDUIT, WATERLINE OR ANY OTHER UTILITY, THE CONTRACTOR SHALL VERIFY ALL CROSSINGS, BY EXCAVATION WHERE NECESSARY, AND INFORM THE OWNER AND THE ARCHITECT/ENGINEER/CONSTRUCTION MANAGER OF ANY CONFLICTS. THE DESIGN ENGINEER WILL BE HELD HARMLESS IF NOT NOTIFIED OF DESIGN CONFLICTS PRIOR TO CONSTRUCTION.
15.
- ADJUST OR RECONSTRUCT ALL EXISTING CASTINGS, CLEANOUTS, ETC. WITHIN PROJECT AREA TO MEET PROPOSED GRADE AS REQUIRED.
16.
- CONTRACTOR TO REMOVE & REPLACE PAVEMENT AS SPECIFIED.
17.
- THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND INVERTS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
18.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, RELOCATE EXISTING UTILITIES AS INDICATED, OR AS NECESSARY FOR CONSTRUCTION.
19.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
20.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVED SURFACES.
21.
- ALL DAMAGE TO EXISTING PAVEMENT, SIDEWALK, CURB, LANDSCAPING, UTILITIES, AND ANY OTHER ITEMS TO REMAIN, WHICH RESULTS FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED WITH LIKE MATERIALS AT THE CONTRACTOR'S EXPENSE.
22.
- SITE DIMENSIONS SHOWN ARE TO THE FACE OF CURB, BUILDING, WALL, EDGE OF PAVEMENT, OR COLUMN LINE UNLESS OTHERWISE NOTED.
23.
- COORDINATES ARE FOR BUILDING COLUMNS, EXTERIOR BUILDING WALLS, CENTERS OF DRIVEWAYS, CENTER OF SANITARY SEWER MANHOLES, AND CENTER OF STRUCTURES PLACED SIX INCHES INSIDE FACE OF CURB FOR DRAIN INLETS, UNLESS OTHERWISE NOTED.
24.
- CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT/RECORD DRAWINGS ON-SITE DURING CONSTRUCTION FOR DISTRIBUTION TO THE OWNER AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION.
25.
- REFER TO THE ARCHITECTURAL, PLUMBING & ELECTRICAL DRAWINGS FOR EXACT DIMENSIONS AND LOCATIONS OF UTILITY SERVICE ENTRY LOCATIONS AND PRECISE BUILDING DIMENSIONS.
26.
- THIS SITE LAYOUT IS SPECIFIC TO THE APPROVALS NECESSARY FOR THE CONSTRUCTION IN ACCORDANCE WITH THE TOWN OF MANLIUS. NO CHANGES TO THE SITE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER. CHANGES MADE TO THE SITE LAYOUT WITHOUT APPROVAL IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. CHANGES INCLUDE BUT ARE NOT LIMITED TO, INCREASED IMPERVIOUS PAVEMENT, ADDITION/DELETION OF PARKING SPACES, MOVEMENT OF CURB LINES, CHANGES TO DRAINAGE STRUCTURES AND PATTERNS, LANDSCAPING, ETC.
27.
- SITE SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE UNITED STATES MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE NYS SUPPLEMENT TO THE MUTCD.

DEMOLITION NOTES

1.
- ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED UNLESS NOTED OTHERWISE SPECIFIED WITHIN THIS CONSTRUCTION SET AND/OR PROJECT MANUAL. THIS INCLUDES WALLS AND FOOTINGS. CAVITIES LEFT BY STRUCTURE REMOVAL SHALL BE BACKFILLED WITH SATISFACTORY MATERIALS AND COMPACTED TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
2.
- CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD BY THE CONTRACTOR.
3.
- NO TREES SHALL BE REMOVED, NOR VEGETATION DISTURBED BEYOND THE LIMITS OF CONSTRUCTION WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
4.
- PROTECTION OF EXISTING TREES AND VEGETATION: PROTECT EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS WITHIN DRIP LINE, EXCESS FOOT OR VEHICULAR TRAFFIC, OR PARKING OF VEHICLES WITHIN DRIP LINE. PROVIDE TEMPORARY GUARDS TO PROTECT TREES AND VEGETATION TO BE LEFT STANDING.
5.
- ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED. ALL DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR DAMAGE ACCORDING TO THE APPROPRIATE UTILITY COMPANY STANDARDS AND AT THE CONTRACTOR'S EXPENSE.
6.
- ALL UTILITY DISCONNECTION, REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY. LOCAL UTILITY CONTACTS ARE PROVIDED ON THIS SHEET.
7.
- THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR OBTAINS PRIOR LEGAL WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
8.
- EROSION & SEDIMENT CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE PROPERLY INSTALLED AND FUNCTIONING PROPERLY PRIOR TO INITIALIZATION OF DEMOLITION ACTIVITIES.
9.
- ASBESTOS OR HAZARDOUS MATERIAL IS ANTICIPATED ON-SITE. IF FOUND ON SITE, SUCH MATERIALS SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
10.
- CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL AND OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS DURING ALL DEMOLITION AND CONSTRUCTION ACTIVITIES.
11.
- CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.

12.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, STRUCTURES, AND FEATURES TO REMAIN. ANY ITEMS TO REMAIN THAT HAVE BEEN DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
13.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH STATE DEPARTMENT OF TRANSPORTATION REGULATIONS, FAA REGULATIONS, AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC.. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
14.
- PROVIDE STRAIGHT, FULL DEPTH, AND NEAT SAW CUTS OF EXISTING PAVEMENT WHERE INDICATED ALONG LIMITS OF PAVEMENT DEMOLITION.
15.
- ALL UTILITY AND STRUCTURE REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED AND PROPERLY DOCUMENTED BY A CERTIFIED PROFESSIONAL, WHEN APPLICABLE, WITH THE APPROPRIATE UTILITY COMPANY, MUNICIPALITY AND/OR AGENCY. DEMOLITION OF REGULATED ITEMS MAY INCLUDE, BUT NOT LIMITED TO WELLS, ASBESTOS, UNDERGROUND STORAGE TANKS, SEPTIC TANKS AND ELECTRIC TRANSFORMERS. DEMOLITION CONTRACTOR SHALL REFER TO ANY ENVIRONMENTAL STUDIES FOR DEMOLITION RECOMMENDATIONS AND GUIDANCE. AVAILABLE ENVIRONMENTAL STUDIES MAY INCLUDE, BUT ARE NOT LIMITED TO PHASE I ESA, PHASE II ESA, WETLAND AND STREAM DELINEATION AND ASBESTOS SURVEYS. ALL APPLICABLE ENVIRONMENTAL STUDIES SHALL BE MADE AVAILABLE UPON REQUEST.
16.
- ALL PAVEMENT, BASE COURSES, SIDEWALKS, CURBS, BUILDINGS, FOUNDATIONS, ETC., WITHIN THE AREA THAT ARE INDICATED TO BE DEMOLISHED SHALL BE REMOVED TO FULL DEPTH. EXISTING BASE COURSE MATERIALS MAY BE REUSED FOR CONSISTENCY. COMPACTED SUBGRADE CONDITION, ETC., ARE IN ACCORDANCE WITH THE SPECIFICATIONS AND RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. BASE COURSE MATERIALS SHALL NOT BE WORKED INTO THE SUBGRADE AREAS TO RECEIVE LANDSCAPING.
17.
- THE CONTRACTOR SHALL USE SUITABLE METHODS TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION ACTIVITIES.

SITE EARTHWORK NOTES

1.
- ALL PROPOSED GRADES SHOWN ARE FINAL GRADES, TOP OF GROUND LEVEL, OR TOP OF PAVEMENT, OR GRATE ELEVATION AT THE DRAWDOWN POINT, UNLESS INDICATED OTHERWISE.
2.
- THE GEOTECHNICAL REPORT FOR THE PROJECT IS FORTHCOMING; WHEN MADE AVAILABLE, REFER TO AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.
3.
- SITE BUILDING PAD EXCAVATION AND CONSTRUCTION TO BE PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS (REPORT FORTHCOMING). BUILDING PAD PREPARATION SHALL BEGIN BY CLEARING AND REMOVAL OF UNSUITABLE MATERIAL FROM PAD SITE, THEN PLACEMENT AND COMPACTION OF BACKFILL MATERIAL PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
4.
- ALL FILL UNDER PAVEMENT SHALL BE COMPACTED TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS (REPORT FORTHCOMING).
5.
- ALL ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS.
6.
- CONTRACTOR SHALL STRICTLY ADHERE TO THE EROSION & SEDIMENT CONTROL PLAN PREPARED FOR THIS PROJECT.
7.
- EARTHWORK SHALL INCLUDE CLEARING AND GRUBBING, STRIPPING AND STOCKPILING TOPSOIL, MASS GRADING, EXCAVATION, FILLING, UNDERCUT AND REPLACEMENT, IF REQUIRED, AND COMPACTION.
8.
- CONTRACTOR TO REFILL UNDERCUT AREAS WITH SUITABLE MATERIAL AND COMPACT AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
9.
- PLACE TOPSOIL OVER THE SUBGRADE OF UNPAVED, DISTRIBUTED AREAS TO A DEPTH INDICATED ON THE LANDSCAPE PLANS (4" MINIMUM).
10.
- PAVEMENT SLOPES ACROSS ACCESSIBLE PARKING STALLS AND ADJOINING ACCESS AISLES SHALL BE MAXIMUM 2% AND SHALL CONFORM TO THE LATEST REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT.
11.
- ALL AREAS NOT PAVED SHALL BE STABILIZED IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLAN, UNLESS NOTED OTHERWISE.
12.
- TRENCHING FOR UTILITIES SHALL BE IN ACCORDANCE WITH OCWA, NATIONAL GRID, TOWN OF MANLIUS OR THE ONONDAGA COUNTY DEPARTMENT OF WEP.
13.
- ALL EXCESS SOIL MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED AND SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
14.
- THE CONTRACTOR IS RESPONSIBLE FOR BALANCING THE SITE EARTHWORK BY IMPORTING OR EXPORTING AS NECESSARY TO ACHIEVE DESIGN GRADES AND SPECIFICATIONS.

UTILITY NOTES

1.
- ALL PROPOSED UTILITY LINES AND EXTENSIONS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH OCWA, NATIONAL GRID, THE TOWN OF MANLIUS AND ONONDAGA COUNTY DEPARTMENT OF WEP SPECIFICATIONS. CONTRACTOR SHALL COORDINATE UTILITY DISCONNECTIONS WITH THE APPROPRIATE AGENCIES.
2.
- PROVIDE STORZ FIRE DEPARTMENT CONNECTION WITH 30 DEGREE TURN DOWN PER LOCAL FIRE DEPARTMENT REQUIREMENTS. UNDERGROUND PIPING SERVING REMOTE FIRE DEPARTMENT CONNECTION SHALL BE DUCTILE IRON PIPING WITH RUBBER-GASKET PUSH-ON JOINTS. ABOVE GROUND PIPING AT LOCATION OF FIRE DEPARTMENT CONNECTION SHALL BE GALVANIZED, PROVIDE FLANGE ABOVE GRADE AT TRANSITION. PROVIDE CONCRETE THRUST BLOCKING AT ALL CHANGES OF DIRECTION AND MOUNT FIRE DEPARTMENT CONNECTION PIPING IN A 12" X 12" CONCRETE PAD 4" THICK. PROVIDE BALL DRIP VALVE AT BASE OF VERTICAL PIPING SERVING FIRE DEPARTMENT CONNECTION AND SURROUND WITH PEA GRAVEL.
3.
- THE CONTRACTOR IS PARTICULARLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES SHOWN HEREON IS BASED ON TOPOGRAPHIC SURVEYS AND RECORD DRAWINGS. THE CONTRACTOR SHALL NOT RELY UPON THIS INFORMATION AS BEING EXACT OR COMPLETE. SHOULD UNCHARTED UTILITIES BE ENCOUNTERED DURING EXCAVATION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE FOR INSTRUCTIONS. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION AND REQUEST FIELD VERIFICATION OF UTILITY LOCATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE EXISTING UTILITIES CONFLICTING WITH IMPROVEMENTS SHOWN HEREON IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
4.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5.
- MAINTAIN MINIMUM 10-FOOT HORIZONTAL AND MINIMUM 18-INCH VERTICAL SEPARATION BETWEEN SANITARY SEWER, STORM SEWER AND WATER SUPPLY LINE, UNLESS OTHERWISE INDICATED.
6.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES, GAS LINES, AND UNDERGROUND ELECTRIC DO NOT CONFLICT WITH SANITARY SEWERS OR STORM SEWERS. INSTALL UTILITIES PRIOR TO PAVEMENT CONSTRUCTION.
7.
- ALL TRENCH SPOILS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED.
8.
- ROOF DRAINS, FOUNDATION DRAINS AND ALL OTHER CLEAR WATER CONNECTIONS TO THE SANITARY SEWER SYSTEMS ARE PROHIBITED.
9.
- ADJUST ALL EXISTING UTILITY SURFACE FEATURES INCLUDING BUT NOT LIMITED TO CASTINGS, VALVES, PEDESTALS, CLEANOUTS, ETC. TO MATCH PROPOSED FINISHED GRADES, UNLESS OTHERWISE INDICATED.
10.
- THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF ALL IMPROVEMENTS. INCLUDE AT LEAST TWO DIMENSIONS TO EACH VALVE AND MANHOLE FROM KNOWN SITE FEATURES. DRAWINGS SHALL INCLUDE HORIZONTAL AND VERTICAL INFORMATION ON ALL NEW UTILITIES AS WELL AS EXISTING UTILITIES ENCOUNTERED.
11.
- MECHANICAL/ELECTRICAL CONTRACTORS SHALL BRING ALL UTILITIES 5' OUTSIDE BUILDING WALL. COORDINATE WITH CONSTRUCTION MANAGER/ARCHITECT/ENGINEER/OWNER.

SITE DATA TABLE

1.	PARCEL ADDRESS:	5427 North Burdick Street	
2.	PARCEL TAX No.:	086.0-1-4.2, 086.0-1-4.3	
3.	TOTAL SITE AREA:	177,760 SF or 4.081 AC	
4.	PROJECT DISTURBANCE:	±33,000 SF or 0.758 AC	
5.	ZONING:	EXISTING Commercial District B (CB)	PROPOSED Commercial District B (CB)
6.	USE:	Vehicle Dealership	Vehicle Dealership ¹
7.	IMPERVIOUS AREA:	141,114 SF or 3.240 AC	142,355 SF or 3.268 AC
8.	GREENSPACE:	36,646 SF or 0.841 AC	35,405 SF or 0.813 AC
9.	OFF-STREET PARKING:	<u>REQUIRED</u>	<u>PROPOSED</u>
9.1.	SHOWROOM:	±1,600 SF x 1 SPC / 200 SF = 8 SPC	8 Spaces (1 Accessible) @ 10' x 20'
9.2.	SALES:	5 EMP. x 1 SPC/EMP. = 5 SPC	5 Spaces @ 9' x 18'
9.3.	SERVICE:	20 EMP. x 1 SPC/EMP. = 20 SPC	20 Spaces @ 9' x 18'
9.4.	CAR STORAGE:	N/A	225 Spaces @ 9' x 18'

¹ Permitted Use §155-16C.(12)



PRELIMINARY
SITE PLAN
APPROVALS

ISSUANCE	SCHEDULE	
	NUMBER	DATE
DESCRIPTION		

KDP MANLIUS NY, LLC

5427 N. BURDICK ST.

ELECTRIC CAR SALES AND SERVICE CENTER

TOWN OF MANLIUS, NEW YORK

PROJECT NO:	XXXXXX
DATE ISSUED:	8/11/22
DESIGNED BY:	JJJ
DRAWN BY:	JJJ
CHECKED BY:	RN

SHEET NAME:
GENERAL NOTES

SHEET NO:
C-001

Layout Tab Name: C-100 EXISTING CONDITIONS & DEMOLITION PLAN
Last Saved By: Jacobs, J. 8/10/2022 11:17:25 AM
C:\Users\Jacobs\Documents\Tesla_Manlius\Cadd\C-100-EX & DEMO.dwg Plotted By: Jacobs, Joe Plotted: August 10, 2022, 11:29:10 AM

Parcel Description

ALL THAT TRACT OR PARCEL OF LAND SITUATE IN LOT #64, TOWN OF MANLIUS, COUNTY OF ONONDAGA AND STATE OF NEW YORK BEING DESCRIBED AS FOLLOWS:

Beginning at an iron rod on the westerly highway boundary of N. Burdick Street, said iron rod located at the intersection of the westerly highway boundary of N. Burdick Street with the southerly boundary of Romano Realty, LLC (Now or Formerly) as described in a Warranty Deed dated December 12, 2000 and recorded in the Onondaga County Clerk's Office in Liber 4499 of Deeds at Page 205; thence N79°42'30"W 725.00 feet along the southerly boundary of Romano Realty, LLC to an iron rod located on the easterly boundary of Syracuse Young Mens Christian Association (Now or Formerly - Liber 4548 / Page 47); thence S07°57'50"W 250.78 feet along the easterly boundary of Syracuse Young Mens Christian Association to an iron rod located on the northerly boundary of Syracuse Young Mens Christian Association; thence S62°08'30"E 724.40 feet along the northerly boundary of Syracuse Young Mens Christian Association and along the northerly boundary of Cor Route 5 Company, LLC (Now or Formerly - Liber 4793 / Page 646) and the easterly extension thereof to an iron rod located on the westerly highway boundary of N. Burdick Street; thence N07°57'50"E 230.00 feet along the westerly highway boundary of N. Burdick Street to the point and place of beginning.

The above described premises containing 4.08± acres of land more or less.

Romano Realty, LLC
(Now or Formerly)
Liber 4498 / Page 44

4.08± Acres
N.L. Andrea Acres, Inc.
(Liber 1845 / Page 648)

Syracuse Young Mens Christian Association
(Now or Formerly)
Liber 4548 / Page 47

Romano Realty, LLC
(Now or Formerly)
Liber 4499 / Page 205

Cor Route 5 Company, LLC
(Now or Formerly)
Liber 4793 / Page 646

Deed References

- Douglas R. Burns, William F. Luke and Robert C. Ryan to Douglas R. Burns, William F. Luke and Robert C. Ryan by Quitclaim Deed dated August 23, 1991 and recorded in the Onondaga County Clerk's Office as Liber 3726 of Deeds at Page 313.
- William F. Luke to the Luke Living Trust by Warranty Deed dated December 21, 2012 and recorded in the Onondaga County Clerk's Office as Liber 5228 of Deeds at Page 596.

Easements

- Right of Way and Easement from Davis Wallbridge, Mayer Kaplovita, George B. Peluso and Georgia H. Peluso to County of Onondaga by Deed recorded in the Onondaga County Clerk's Office on April 9, 1970 in Liber 2425 of Deeds at Page 266. (Not Shown - Does not affect Subject Parcel).
- Right of Way from Davis Wallbridge, Mayer Kaplovita, George B. Peluso and Georgia H. Peluso to Onondaga County Water Authority by Deed recorded in the Onondaga County Clerk's Office on September 17, 1973 in Liber 2512 of Deeds at Page 939.
- Sanitary Sewer and Right of Way Easement from Douglas R. Burns, William Luke and Robert Ryan to Town of Manlius by Deed recorded in the Onondaga County Clerk's Office on July 31, 1990 in Liber 3636 of Deeds at Page 14.

General Notes:

- Subject Parcel is Zoned: Commercial - B
- Subject Parcel is located in Zone "X" as shown on FEMA Flood Map (Town of Manlius - Map No. 360584)
- Zoning Report or Letter Not Provided for this Survey.
- Gross Land Area = 4.08± acres.
- Identified Parking Spaces: Regular - 89; Handicapped - 1
- Topographic Survey (ground) completed on June 2, 2022. Contour Interval - 1'. Vertical Datum - NAVD'88 (GPS). Horizontal Datum - Historical (Liber 3726 / Page 313)
- No Wetland Delineation performed prior to this Survey.
- Underground utilities, structures and appurtenances have been plotted by field measurement and observed field markings. The surveyor assumes no liability regarding the location of underground utilities, structures or appurtenances shown on this plot, there may be more, the existence of which is presently unknown to me. Before ANY excavation occurs on this site, the contractor must contact Dig Safe NY.
- The ALTA/NSPS Land Title Survey shown hereon was completed with the benefit of a Title Commitment (undated) from Chicago Title Insurance Company #2217-2660IR.

EXISTING LEGEND:

- 799 --- 1' CONTOUR
- 800 --- 5' CONTOUR
- PROPERTY BOUNDARY
- - - EASEMENT
- - - SD - TREE/SHRUB LINE
- - - SD - STORM & SIZE IF INDICATED
- - - WTR - WATER & SIZE IF INDICATED
- - - SAN - SANITARY & SIZE IF INDICATED
- - - G - GAS & SIZE IF INDICATED
- - - UE - UNDERGROUND ELECTRIC
- - - UT - UNDERGROUND TELEPHONE
- ⊙ - SANITARY MANHOLE
- ⊙ - STORM MANHOLE
- ⊙ - CATCH BASIN
- ⊙ - WATER METER PIT
- ⊙ - WATER VALVE
- ⊙ - HYDRANT
- ⊙ - UTILITY/LIGHT POLE
- ⊙ - GROUND LIGHT
- ⊙ - GAS METER
- ⊙ - EXISTING IRON PIN
- ⊙ - BUILDING

DEMOLITION LEGEND:

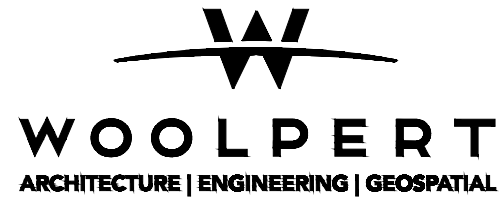
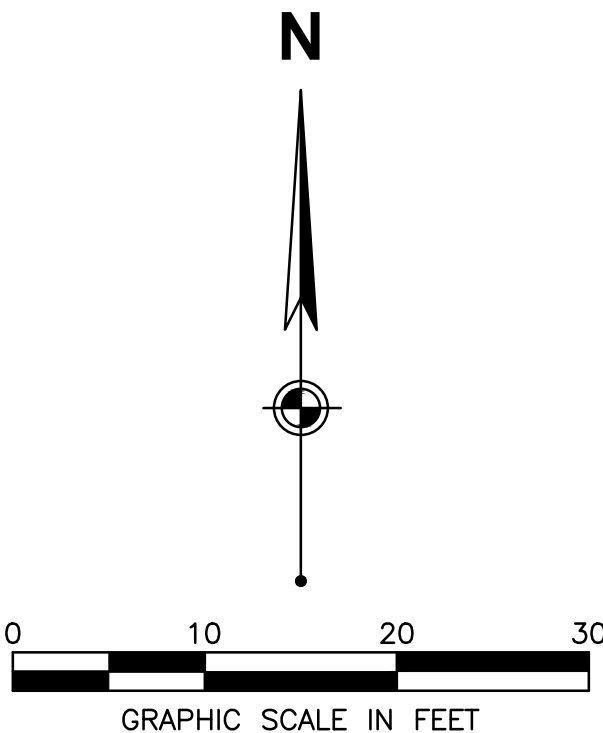
- FULL DEPTH SAW CUT LINE
- UTILITY LINE TO BE REMOVED
- UTILITY LINE TO BE ABANDONED
- MILL - TOP COURSE
- PARTIAL DEPTH PAVEMENT SECTION REMOVAL
- FULL DEPTH PAVEMENT SECTION REMOVAL

NOTES

- SEE SHEET C-001 FOR GENERAL NOTES.
- EXISTING SITE INFORMATION AND TOPOGRAPHIC SURVEY WAS PREPARED BY CHAPIN LAND SURVEYORS, DATED JUNE 16, 2022.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
- CONTRACTOR TO LOCATE EXISTING UTILITY SERVICES AND INVESTIGATE POTENTIAL FOR REUSE. IF IT IS NOT TO BE REUSED, IT SHALL BE REMOVED OR ABANDONED IN PLACE PER AGENCY REQUIREMENTS.

KEYNOTES

- LIMIT OF VEGETATION REMOVAL
- REMOVE UTILITY LINE WITHIN ADDITION FOOTPRINT
- COORDINATE WITH NATIONAL GRID FOR UTILITY REMOVALS & ABANDONMENTS
- REMOVE LIGHT POLE BASE & ABANDON CONDUIT AND CONDUCTORS.
- ITEM TO REMAIN
- REMOVE FRAME & GRATE & SAFEGUARD FOR FUTURE USE; STRUCTURE TO REMAIN
- APPROXIMATE LOCATION OF WATER METER VAULT; CONTRACTOR TO VERIFY DEPTH AND LOCATION PRIOR TO COMMENCEMENT OF CONSTRUCTION. RETURN METER TO OCWA AND ABANDON SERVICE.



4900 O'Hear Avenue, Suite 202
North Charleston, SC 29405
843.216.0401

PRELIMINARY SITE PLAN APPROVALS

ISSUANCE SCHEDULE
NUMBER DATE DESCRIPTION

KDP MANLIUS NY, LLC
5427 N. BURDICK ST.
ELECTRIC CAR SALES AND SERVICE CENTER

TOWN OF MANLIUS, NEW YORK

PROJECT NO: XXXXXX
DATE ISSUED: 8/11/22
DESIGNED BY: JJJ
DRAWN BY: JJJ
CHECKED BY: RN

SHEET NAME:
EXISTING CONDITIONS
& DEMOLITION PLAN

SHEET NO:

C-100

	CONCRETE SEGMENTAL RETAINING WALL
	PROPOSED TREE/SHRUB LINE
	PROPOSED SECURITY FENCE
	PROPOSED FULL-DEPTH PAVEMENT SECTION
	PROPOSED PARTIAL-DEPTH PAVEMENT SECTION
	PROPOSED TOP COURSE SECTION ONLY
	PARKING STALL COUNTS
	ELECTRIC TRANSFORMER & PAD

1. SEE SHEET C-001 FOR GENERAL NOTES.
2. EXISTING SITE INFORMATION AND TOPOGRAPHIC SURVEY WAS PREPARED BY CHAPIN LAND SURVEYORS, DATED JUNE 16, 2022.
2. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
3. CONTRACTOR TO LOCATE EXISTING UTILITY SERVICES AND INVESTIGATE POTENTIAL FOR REUSE. IF IT IS NOT TO BE REUSED, IT SHALL BE REMOVED OR ABANDONED IN PLACE PER AGENCY REQUIREMENTS.

1. 4" WHITE STRIPING, TYPICAL
2. MODIFIED INTERNATIONAL SYMBOL OF ACCESS
3. 9' x 18' PARKING SPACE
4. 10'x20' PARKING SPACE
5. 8' x 22' PARALLEL SPACE
6. 90° PARKING SPACE
7. 60° PARKING SPACE
8. 45° PARKING SPACE
9. GARAGE DOOR OPENING
10. DOUBLE-LEAF SECURITY GATE
11. GRASS
12. EMPLOYEE PARKING

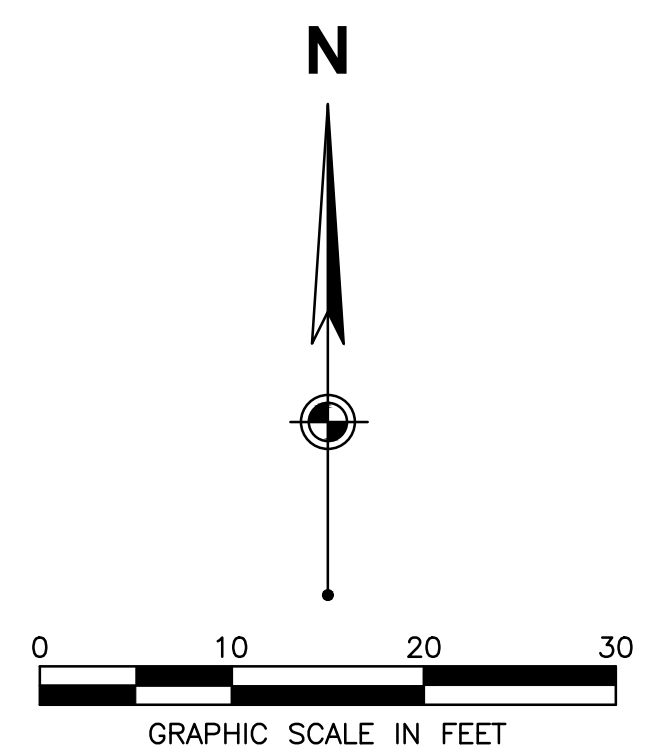
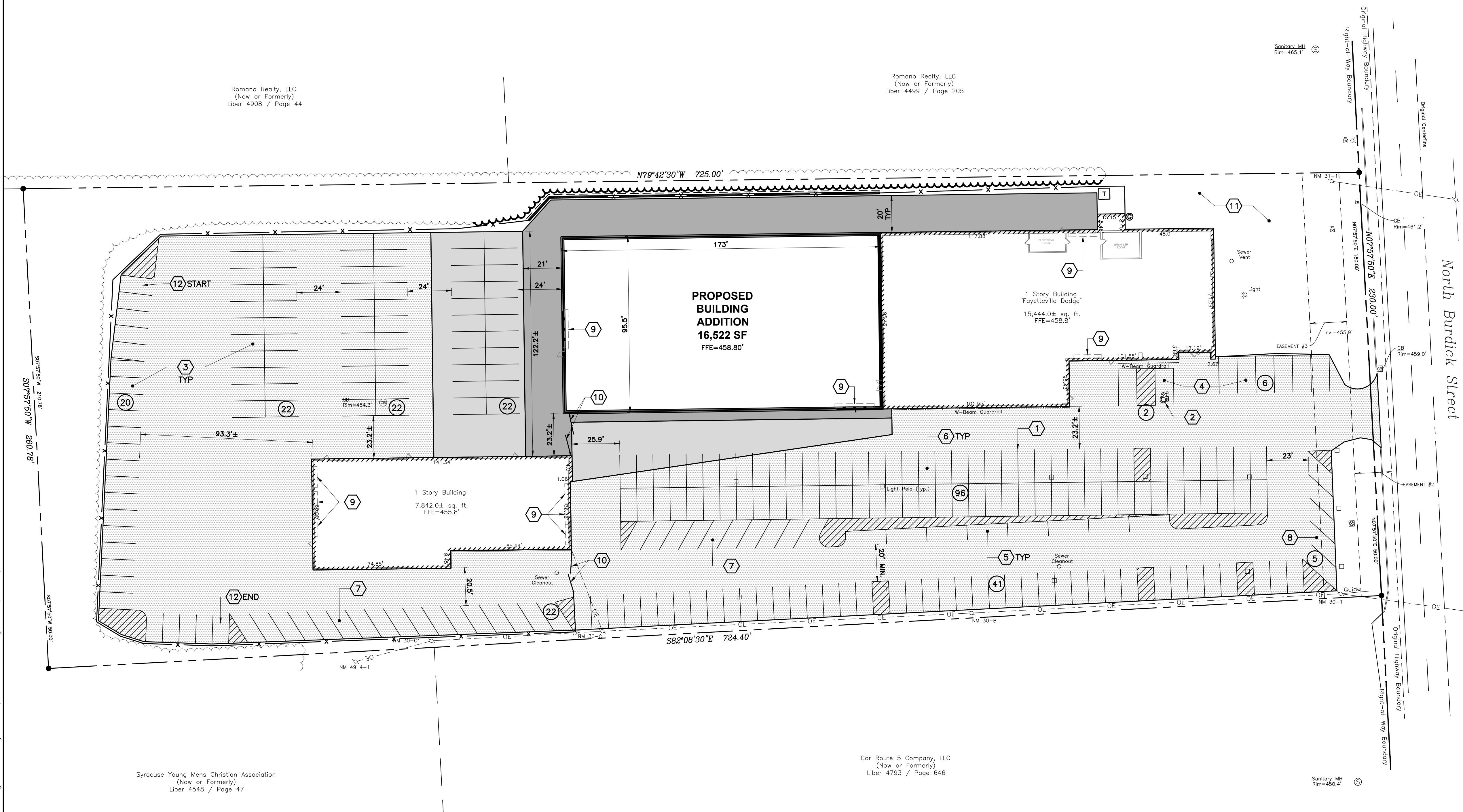
△	ISSUANCE SCHEDULE	
	NUMBER	DATE DESCRIPTION

PROJECT NO:	XXXXXX
DATE ISSUED:	8/11/22
DESIGNED BY:	JJJ
DRAWN BY:	JJJ
CHECKED BY:	RN

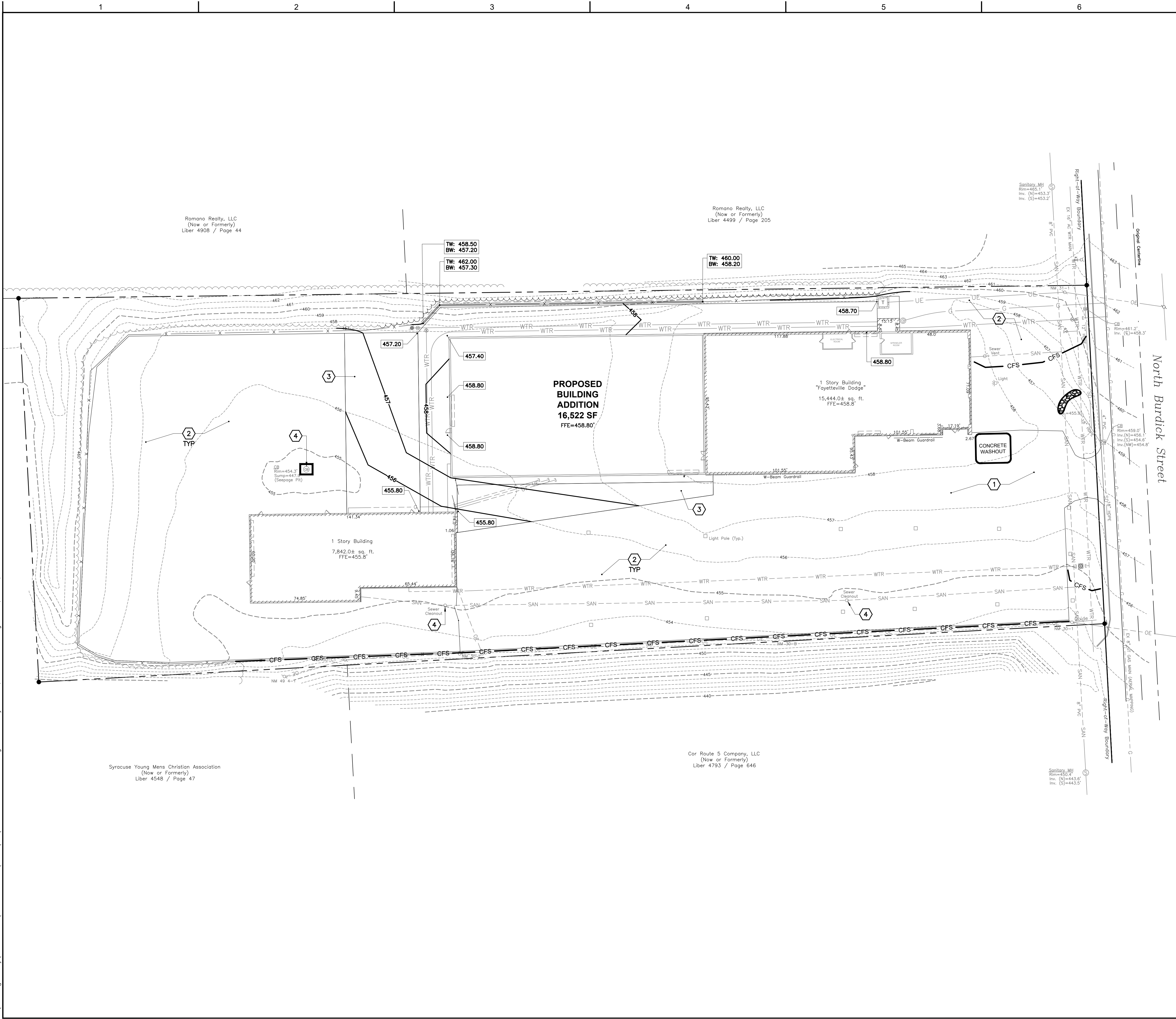
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SITE PLAN

SHEET NO:

C-200



Layout Tab Name: C-300 GRADING & EROSION CONTROL PLAN
Last Saved By: Jacobs, J., 8/10/2022 11:16:34 AM
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GRADING LEGEND:

- 799--- EXISTING 1' CONTOUR
- 800--- EXISTING 5' CONTOUR
- 799--- PROPOSED 1' CONTOUR
- 800--- PROPOSED 5' CONTOUR
- XXX.XX SPOT ELEVATION

EROSION & SEDIMENT CONTROL LEGEND:

- CFS COMPOST FILTER SOCK
- CHECK DAM
- INLET PROTECTION
- CONCRETE WASHOUT

NOTES

- SEE SHEET C-001 FOR GENERAL NOTES.
- EXISTING SITE INFORMATION AND TOPOGRAPHIC SURVEY WAS PREPARED BY CHAPIN LAND SURVEYORS, DATED JUNE 16, 2022.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING UTILITY ENTRANCE LOCATIONS AND MEP PLANS FOR CONTINUATION INTO BUILDING.

KEYNOTES (X)

- SWEEP PAVEMENT DAILY
- MATCH TO EXISTING GRADE
- VARIABLE SUBBASE OR PAVEMENT SECTION, AS REQUIRED FOR REGRADE.
- ADJUST STRUCTURE TO GRADE.

PRELIMINARY SITE PLAN APPROVALS

ISSUANCE SCHEDULE	DESCRIPTION
NUMBER	DATE

KDP MANLIUS NY, LLC
5427 N. BURDICK ST.
ELECTRIC CAR SALES AND SERVICE CENTER

TOWN OF MANLIUS, NEW YORK

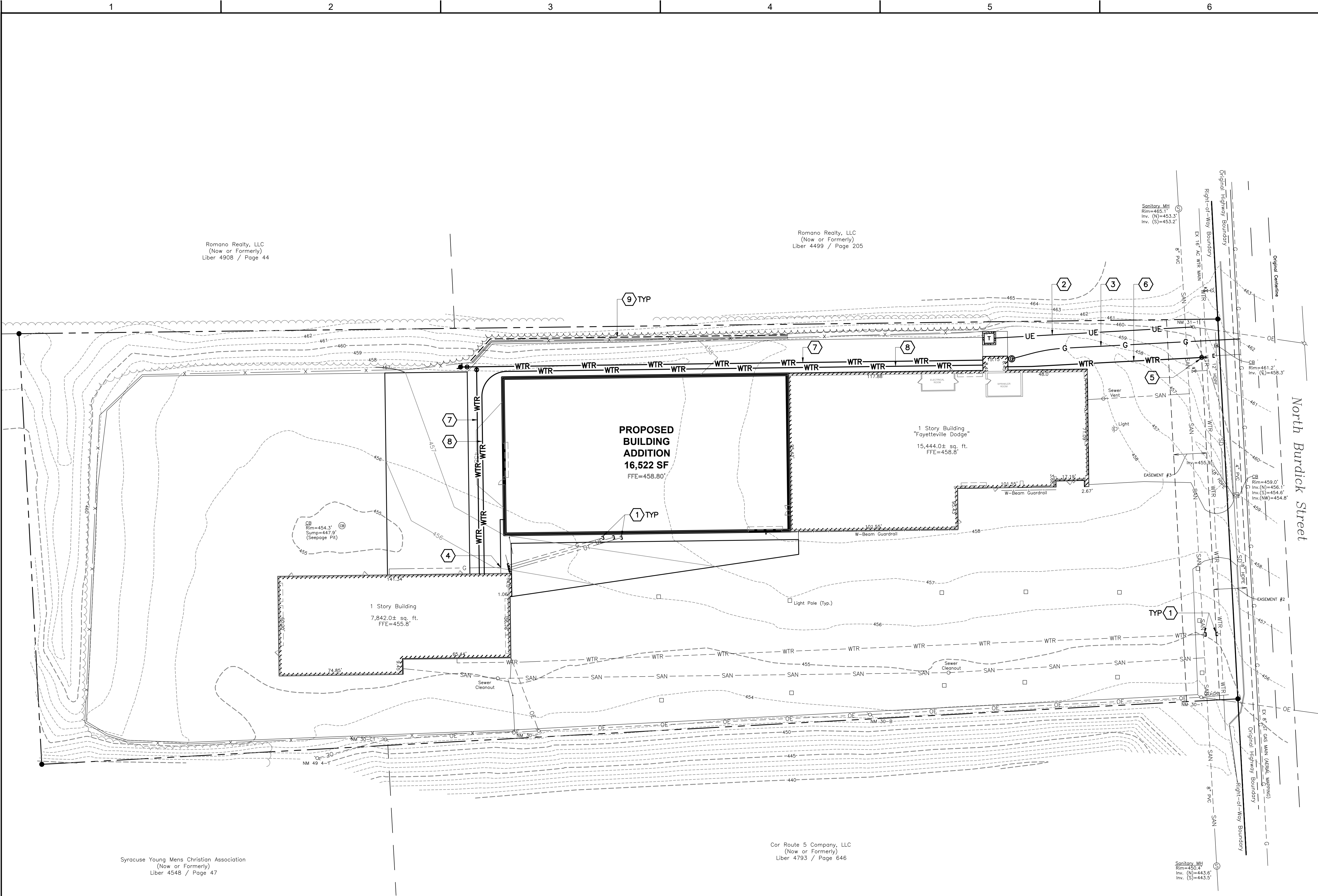
PROJECT NO:	XXXXXX
DATE ISSUED:	8/11/22
DESIGNED BY:	JJJ
DRAWN BY:	JJJ
CHECKED BY:	RN

SHEET NAME:
GRADING & EROSION CONTROL PLAN

SHEET NO:

C-300

Layout Tab Name: C-400 UTILITY PLAN
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Romano Realty, LLC
(Now or Formerly)
Liber 4908 / Page 44

Romano Realty, LLC
(Now or Formerly)
Liber 4499 / Page 205

Syracuse Young Mens Christian Association
(Now or Formerly)
Liber 4548 / Page 47

Car Route 5 Company, LLC
(Now or Formerly)
Liber 4793 / Page 646

UTILITY LEGEND:

WTR	PROPOSED WATER LINE
---	PROPOSED UNDERDRAIN
G	PROPOSED GAS LINE
UE	PROPOSED UNDERGROUND ELECTRIC
⊙	PROPOSED WATER VALVE
⬆	PROPOSED HYDRANT
⊕	PROPOSED GAS METER
⊞	ELECTRIC TRANSFORMER & PAD

NOTES

- SEE SHEET C-001 FOR GENERAL NOTES.
- EXISTING SITE INFORMATION AND TOPOGRAPHIC SURVEY WAS PREPARED BY CHAPIN LAND SURVEYORS, DATED JUNE 16, 2022.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING UTILITY ENTRANCE LOCATIONS AND MEP PLANS FOR CONTINUATION INTO BUILDING.

KEYNOTES (X)

- CAP ABANDONED SERVICES WITH MECHANICAL PLUG.
- RELOCATED UNDERGROUND THREE-PHASE PRIMARY SERVICE. INSTALL PER NATIONAL GRID SPECIFICATIONS.
- RELOCATED UNDERGROUND GAS SERVICE. INSTALLATION BY NATIONAL GRID.
- CONNECT TO EXISTING GAS LINE.
- TAPPING SLEEVE & VALVE. CONNECT TO PUBLIC MAIN IN ACCORDANCE WITH OCWA STANDARDS.
- COMBINED WATER SERVICE (PRIVATE)
- FIRE PROTECTION LINE; DOWNSTREAM OF BACKFLOW PREVENTER (PRIVATE)
- DOMESTIC WATER SERVICE (PRIVATE)
- DAYLIGHT UNDERDRAIN THROUGH WALL WEEPS

PRELIMINARY SITE PLAN APPROVALS

ISSUANCE SCHEDULE

NUMBER DATE DESCRIPTION

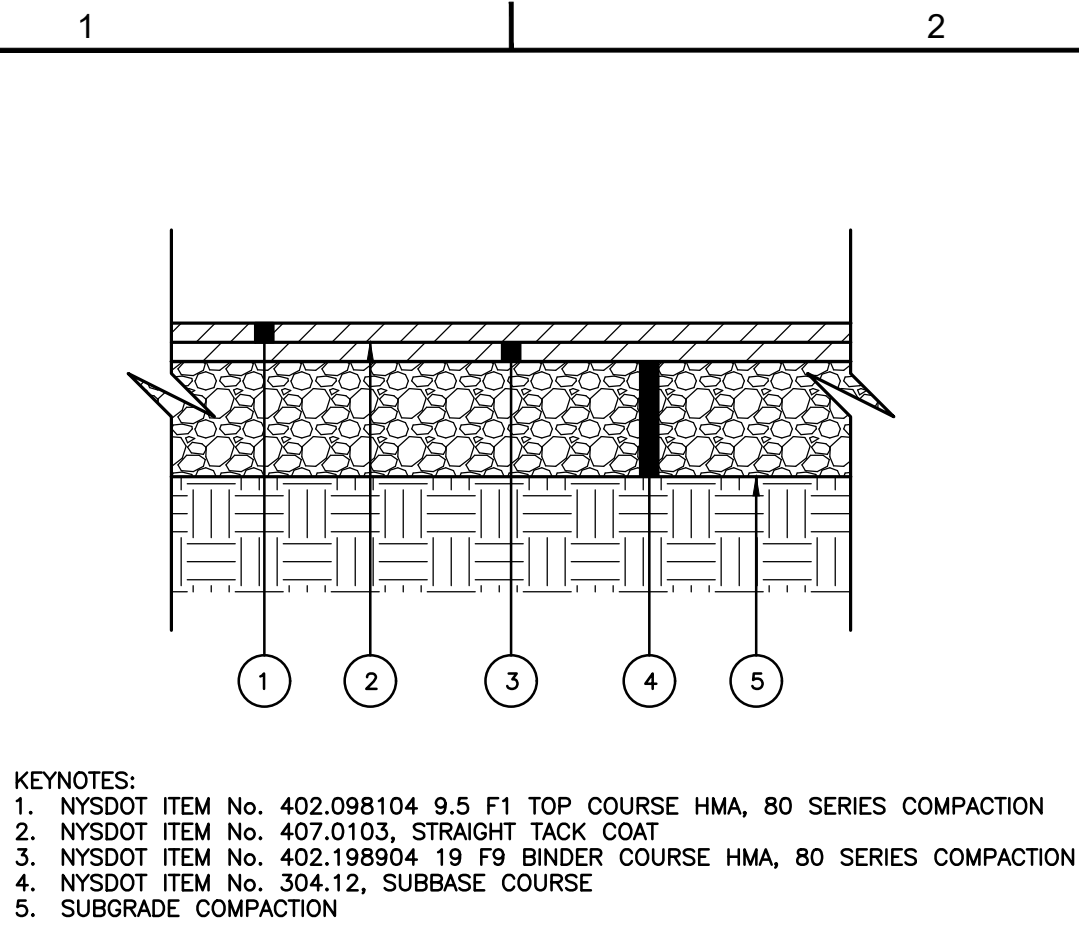
KDP MANLIUS NY, LLC
5427 N. BURDICK ST.
ELECTRIC CAR SALES AND SERVICE CENTER
TOWN OF MANLIUS, NEW YORK

PROJECT NO: XXXXXX
DATE ISSUED: 8/11/22
DESIGNED BY: JJJ
DRAWN BY: JJJ
CHECKED BY: RN

SHEET NAME:
UTILITY PLAN

SHEET NO:

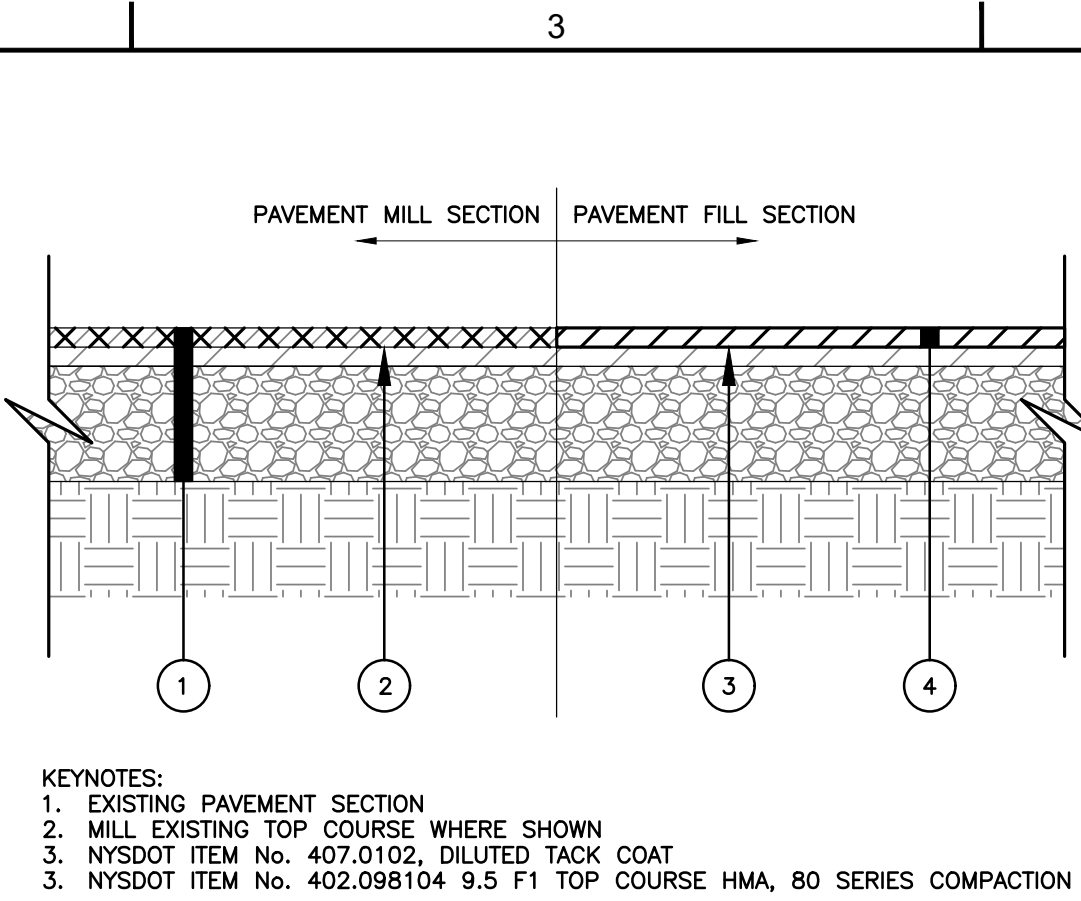
C-400



KEYNOTES:
1. NYSDOT ITEM No. 402.098104 9.5 F1 TOP COURSE HMA, 80 SERIES COMPACTION
2. NYSDOT ITEM No. 407.0103, STRAIGHT TACK COAT
3. NYSDOT ITEM No. 402.198904 19 F9 BINDER COURSE HMA, 80 SERIES COMPACTION
4. NYSDOT ITEM No. 304.12, SUBBASE COURSE
5. SUBGRADE COMPACTION

NOTES:
1. ALL PAVEMENT MATERIALS SHALL MEET NYSDOT STANDARDS & SPECS, LATEST EDITION. PAVEMENT SECTION SHOWN FOR PRELIMINARY PURPOSES ONLY.
2. ACTUAL PAVEMENT DESIGN FORTHCOMING WITH GEOTECHNICAL REPORT.
3. TOP COURSE FOR ALL PAVEMENTS SHALL BE PAVED CONTINUOUSLY.

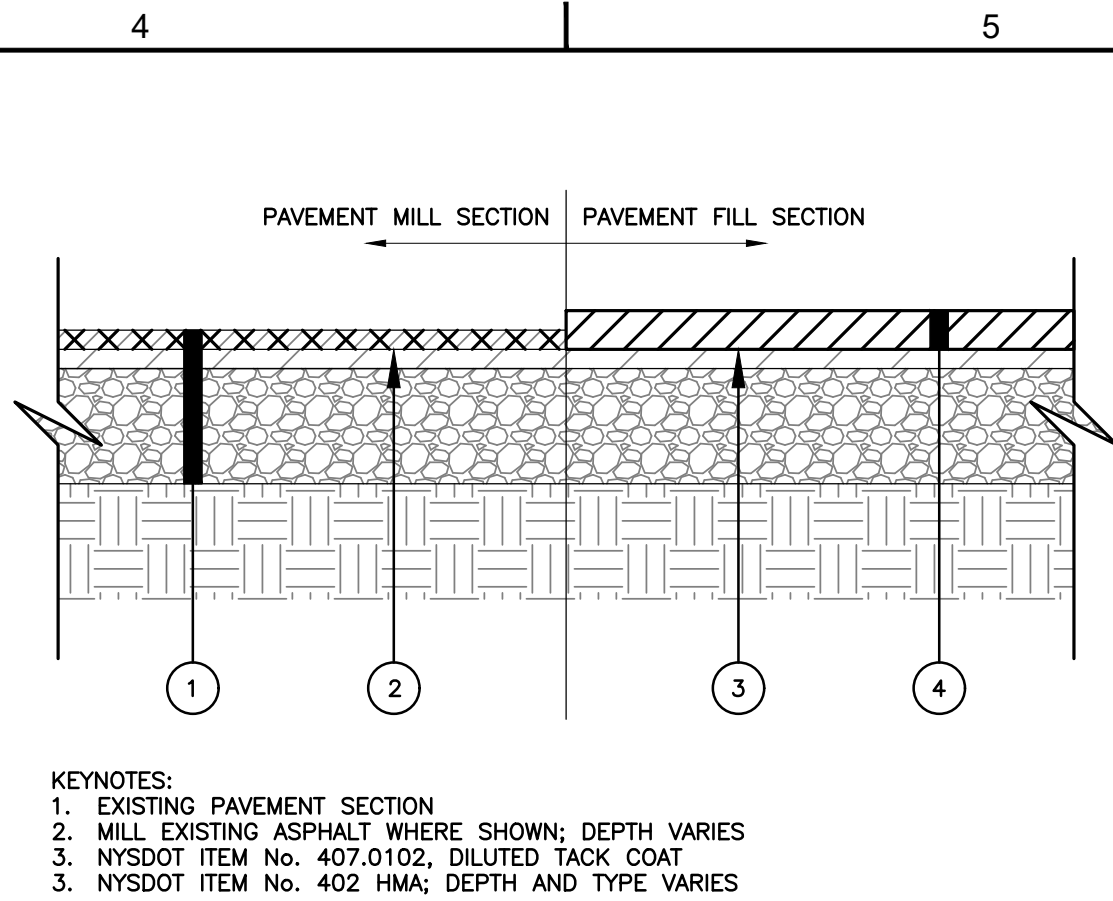
FULL-DEPTH ASPHALT
PAVEMENT SECTION
N.T.S.



KEYNOTES:
1. EXISTING PAVEMENT SECTION
2. MILL EXISTING TOP COURSE WHERE SHOWN
3. NYSDOT ITEM No. 407.0102, DILUTED TACK COAT
4. NYSDOT ITEM No. 402.098104 9.5 F1 TOP COURSE HMA, 80 SERIES COMPACTION

NOTES:
1. ALL PAVEMENT MATERIALS SHALL MEET NYSDOT STANDARDS & SPECS, LATEST EDITION. PAVEMENT SECTION SHOWN FOR PRELIMINARY PURPOSES ONLY.
2. ACTUAL PAVEMENT DESIGN FORTHCOMING WITH GEOTECHNICAL REPORT.
3. TOP COURSE FOR ALL PAVEMENTS SHALL BE PAVED CONTINUOUSLY.

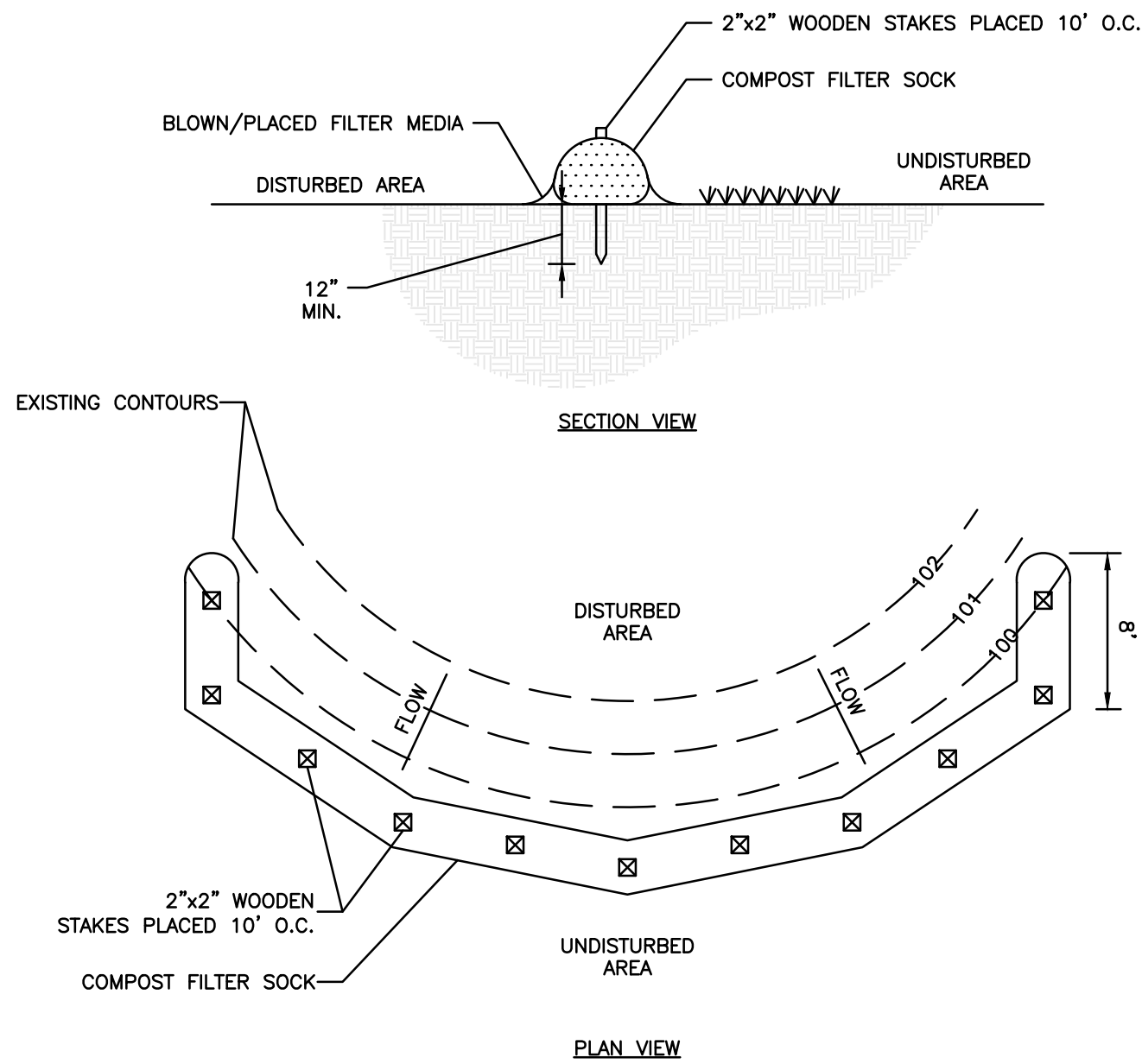
MILL & FILL PAVEMENT SECTION
N.T.S.



KEYNOTES:
1. EXISTING PAVEMENT SECTION
2. MILL EXISTING ASPHALT WHERE SHOWN; DEPTH VARIES
3. NYSDOT ITEM No. 407.0102, DILUTED TACK COAT
4. NYSDOT ITEM No. 402 HMA; DEPTH AND TYPE VARIES

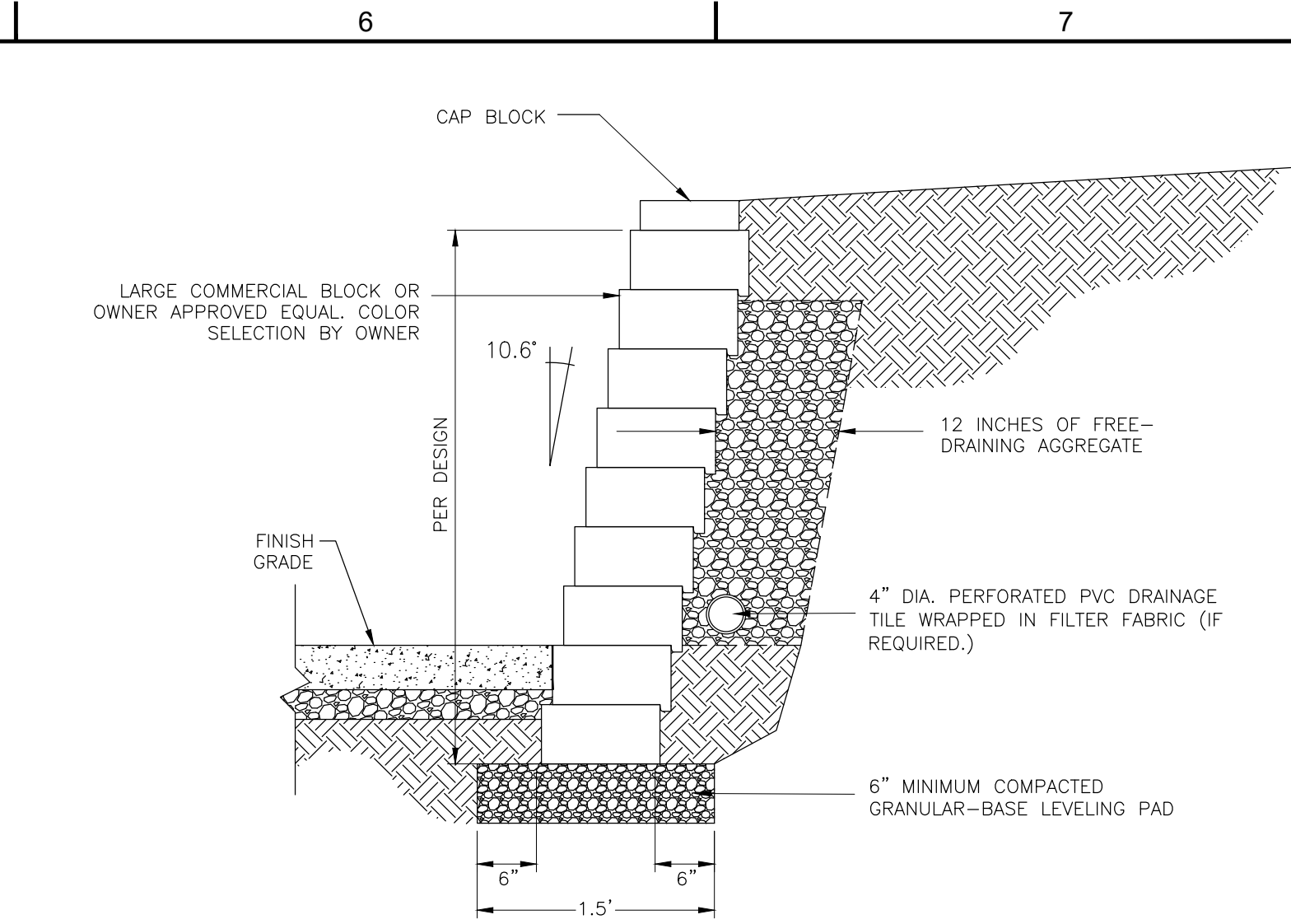
NOTES:
1. ALL PAVEMENT MATERIALS SHALL MEET NYSDOT STANDARDS & SPECS, LATEST EDITION. PAVEMENT SECTION SHOWN FOR PRELIMINARY PURPOSES ONLY.
2. ACTUAL PAVEMENT DESIGN FORTHCOMING WITH GEOTECHNICAL REPORT.
3. TOP COURSE FOR ALL PAVEMENTS SHALL BE PAVED CONTINUOUSLY.

PARTIAL-DEPTH ASPHALT
PAVEMENT SECTION
N.T.S.

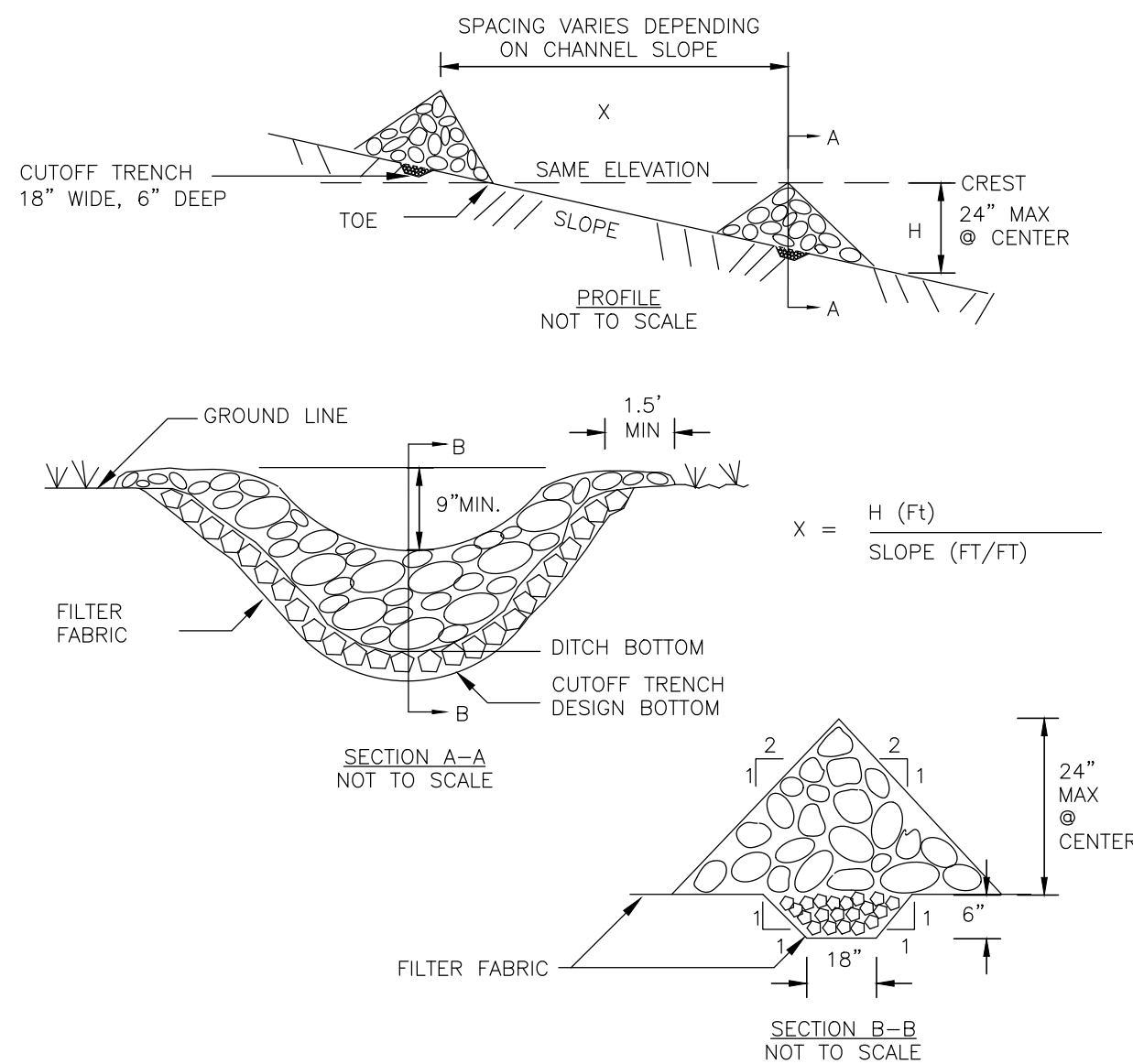


NOTES:
1. SOCK FABRIC SHALL MEET STANDARDS OF TABLE 5.1. COMPOST SHALL MEET THE STANDARDS LISTED ON OF TABLE 5.2.
2. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT (FIGURE 5.2). MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN ON FIGURE X-X. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.
3. TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
4. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
5. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
6. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
7. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCKS, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

COMPOST FILTER SOCK
N.T.S.



GRAVITY RETAINING WALL
N.T.S.



1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
2. SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
4. PROTECT THE CHANNEL DOWNSLOPE OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE.
6. MAXIMUM DRAINAGE AREA 2 ACRES.

STONE CHECK DAM
N.T.S.

PRELIMINARY
SITE PLAN
APPROVALS

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C

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DETAILS

SHEET NO:

C-800